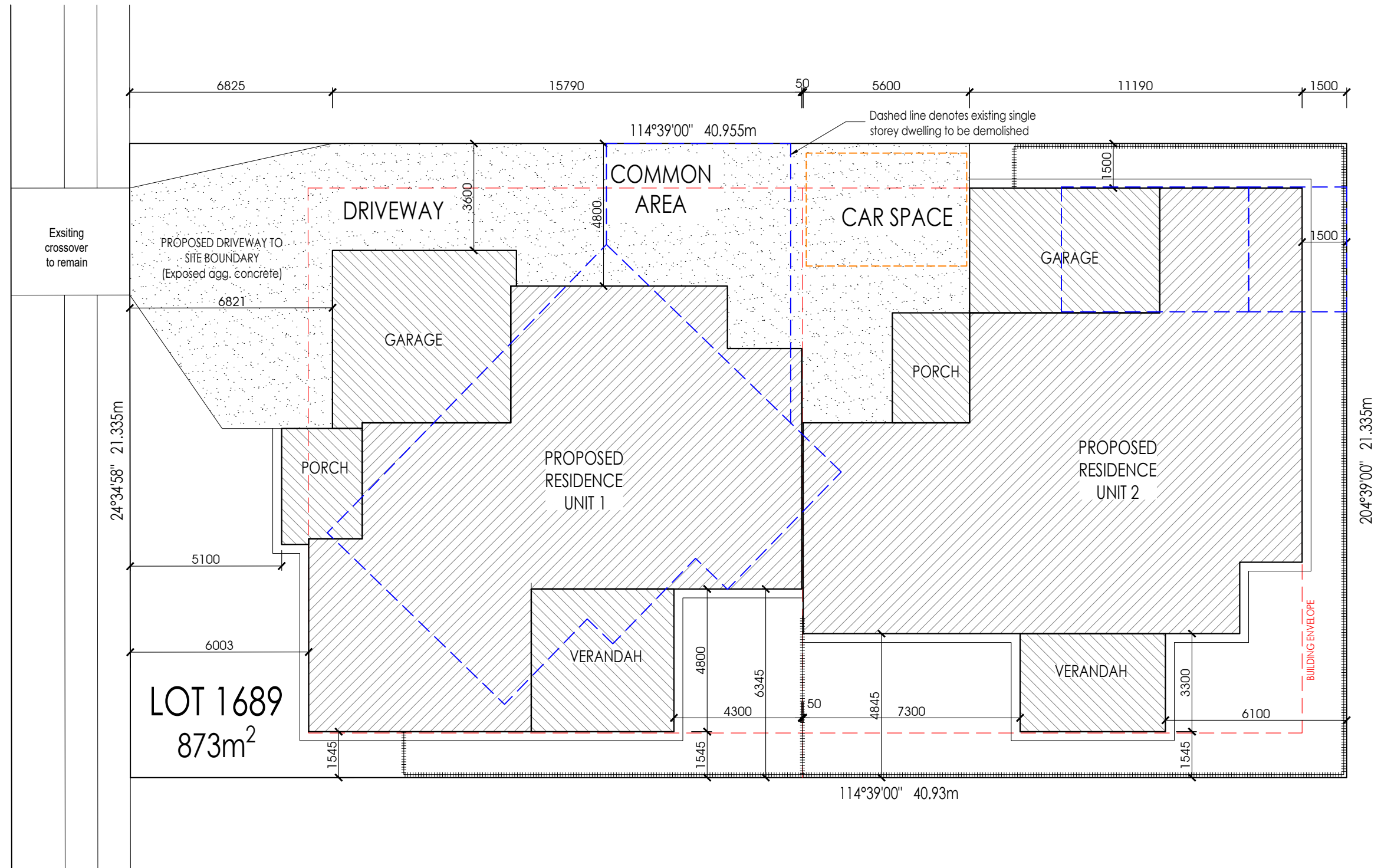


TELEGRAPH TERRACE



SITE PLAN

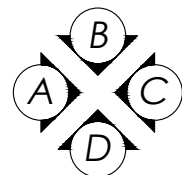
SCALE 1:150

Living area:	161.45 m ²
Garage	35.22 m ²
Porch:	10.36 m ²
Verandahs:	23.04 m ²
Total Area:	230.07 m ²

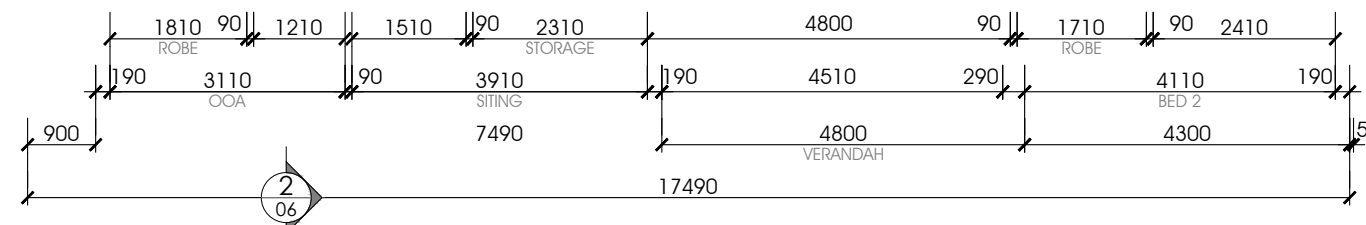
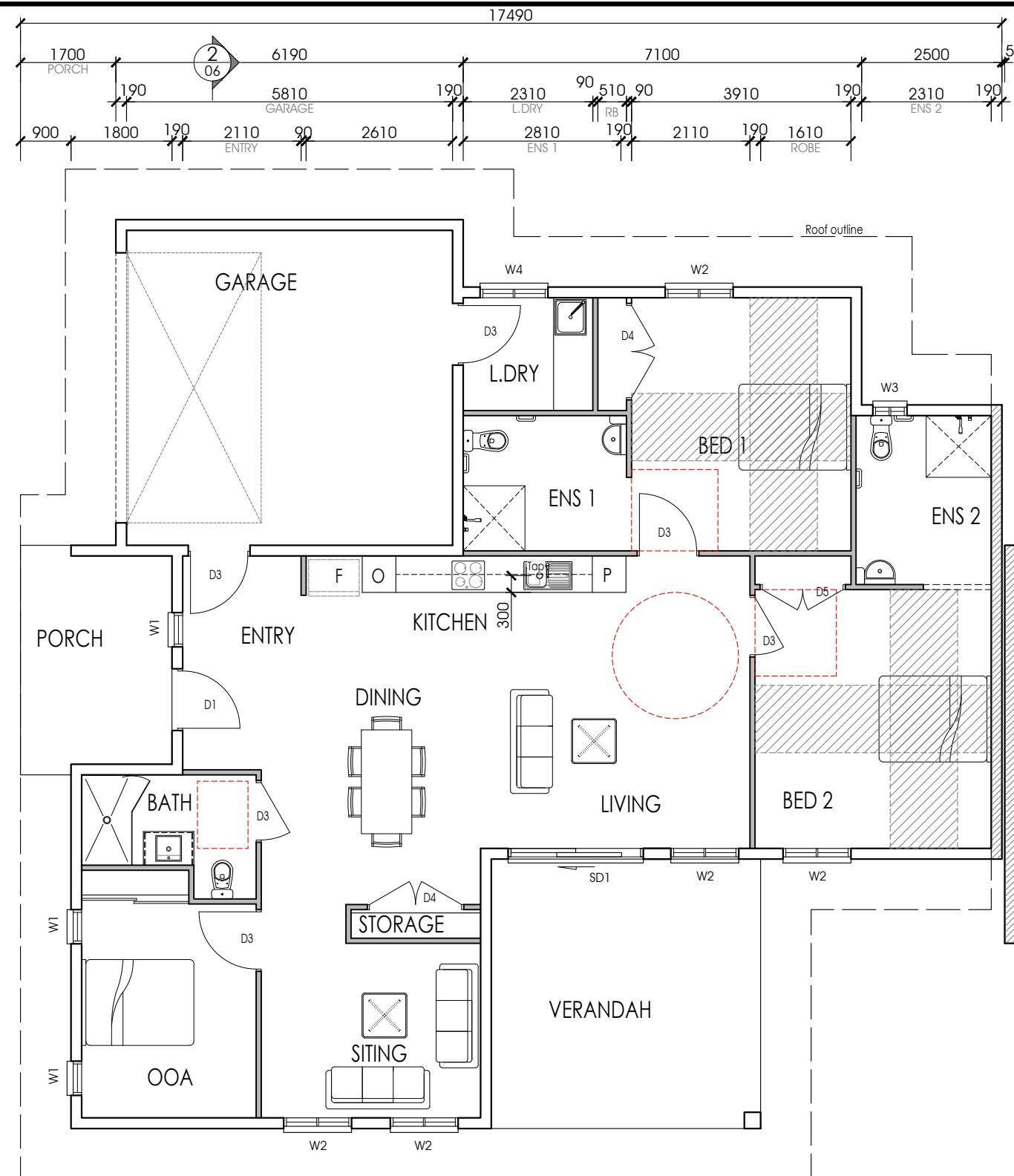
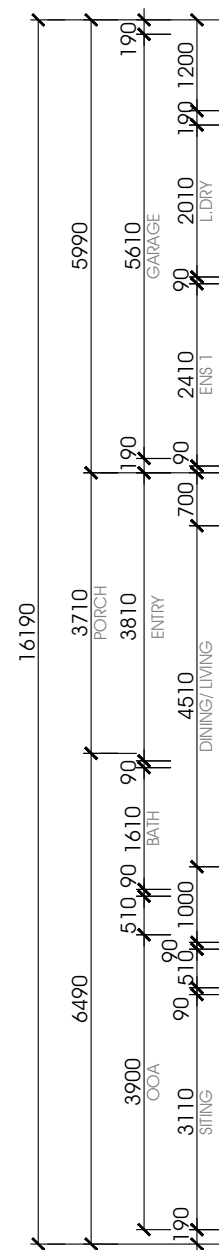
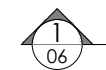
Living area:	175.52 m ²
Garage	26.88 m ²
Porch:	9.62 m ²
Verandahs:	16.14 m ²
Total Area:	228.16 m ²

..... Fence & gate locations.
All fencing material & finish to comply with
Developer design guidelines standard
by using Chain mesh, Slats or Colorbond
(good neighbour) fence types

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99058
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	Job NO. Drawing NO. & (Revision)	1689-TELE 1689-TELE-01 (Rev.02)	 Builders Who Return Your Call Those who never change their minds never change anything



ELEVATIONS
VIEWING ORIENTATION



NOTES
A video, intercom or other communication system shall be provided to enable communication between the participant and their supports when not within line of sight.

NOTES
All internal doorways shall have a level (step-free) transition and threshold (max. vertical tolerance of 3mm vertical or 5mm between abutting surfaces is allowable provided the lip is rounded or beveled) Refer to Eng. plans for door transition detail

NOTES
Window controls shall be located within easy reach from either a seated or standing position (between 600mm to 1100mm above FFL)

NOTES
Gradients in the shower recess must comply with AS1428.1 (between 1:60 - 1:80 inside the shower area)

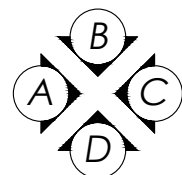
NOTES
Internet connection shall be provided with the ability for high internet speeds to be maintained and stable in nature with wi-fi coverage throughout all areas of the dwelling

- HATCHING DENOTES
 - FULL HEIGHT FIRE WALL BETWEEN 2 UNITS
 - 190mm CONC. CORED
 - FILLED BLOCKWORK EXTERNAL WALL
 - 90mm STUD INTERNAL WALL FRAMING WITH PLASTER & PAINTED FINISH

GROUND FLOOR PLAN UNIT 1 SCALE 1:100

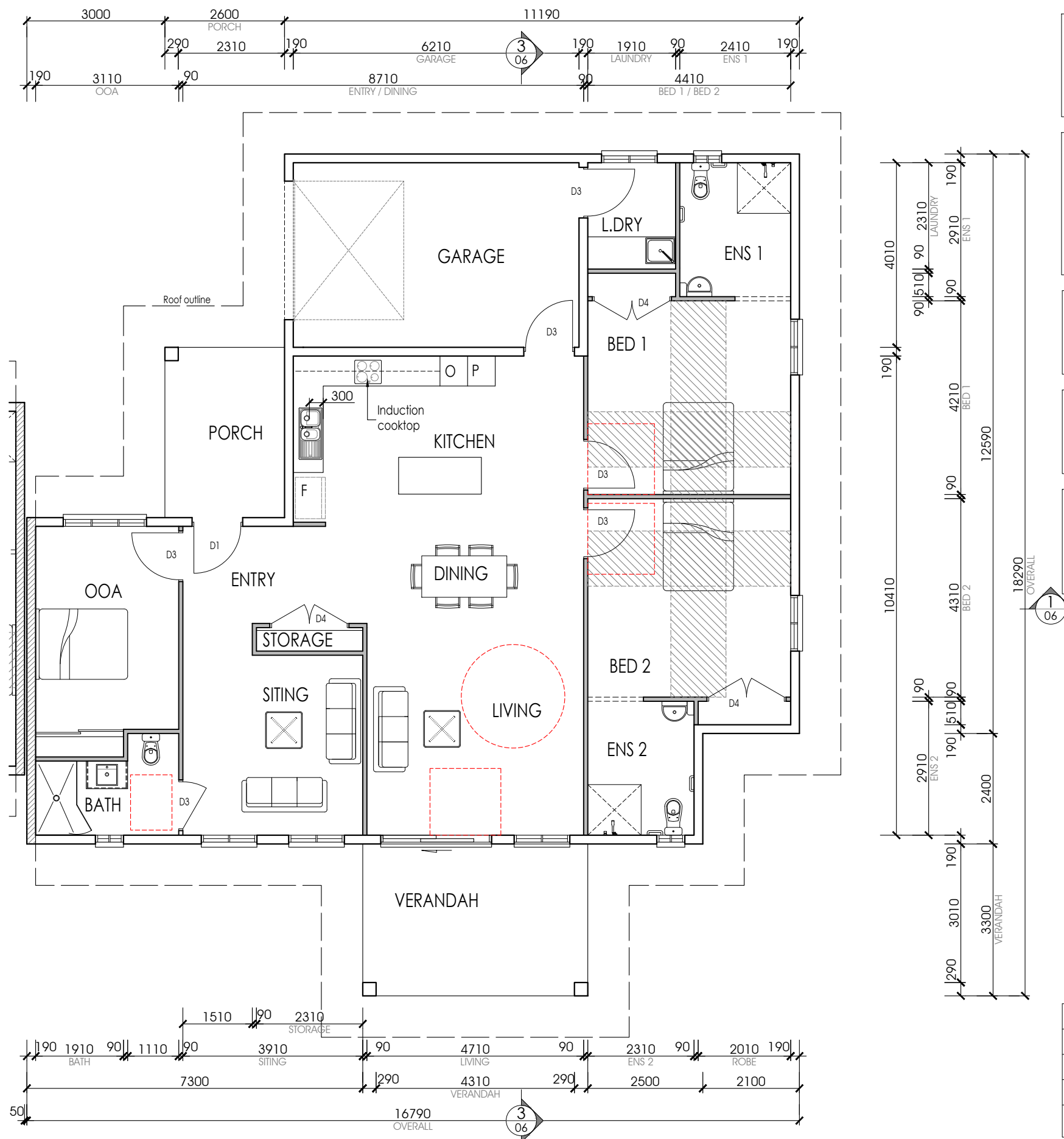
Living area:	161.45 m ²
Garage	35.22 m ²
Porch:	10.36 m ²
Verandahs:	23.04 m ²
Total Area:	230.07 m ²

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99056
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	Job NO.	1689-TELE 1689-TELE-02 (Rev.02)	 Builders Who Return Your Call Those who never change their minds never change anything



ELEVATIONS
VIEWING ORIENTATION

GROUND FLOOR PLAN UNIT 2 SCALE 1:100



NOTES
A video, intercom or other communication system shall be provided to enable communication between the participant and their supports when not within line of sight.

NOTES
All internal doorways shall have a level (step-free) transition and threshold (max. vertical tolerance of 3mm vertical or 5mm between abutting surfaces is allowable provided the lip is rounded or beveled) Refer to Eng. plans for door transition detail

NOTES
Window controls shall be located within easy reach from either a seated or standing position (between 600mm to 1100mm above FFL)

NOTES
Gradients in the shower recess must comply with AS1428.1 (between 1:60 - 1:80 inside the shower area)

NOTES
Internet connection shall be provided with the ability for high internet speeds to be maintained and stable in nature with wi-fi coverage throughout all areas of the dwelling

- HATCHING DENOTES
- FULL HEIGHT FIRE WALL BETWEEN 2 UNITS
 - 190mm CONC. CORED FILLED BLOCKWORK EXTERNAL WALL
 - 90mm STUD INTERNAL WALL FRAMING WITH PLASTER & PAINTED FINISH

Living area:	175.52 m ²
Garage	26.88 m ²
Porch:	9.62 m ²
Verandahs:	16.14 m ²
Total Area:	228.16 m ²

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99058
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	Job NO. Drawing NO. & (Revision)	1689-TELE 1689-TELE-03 (Rev.02)	 Builders Who Return Your Call Those who never change their minds never change anything

MATERIAL & COLOUR SCHEDULE

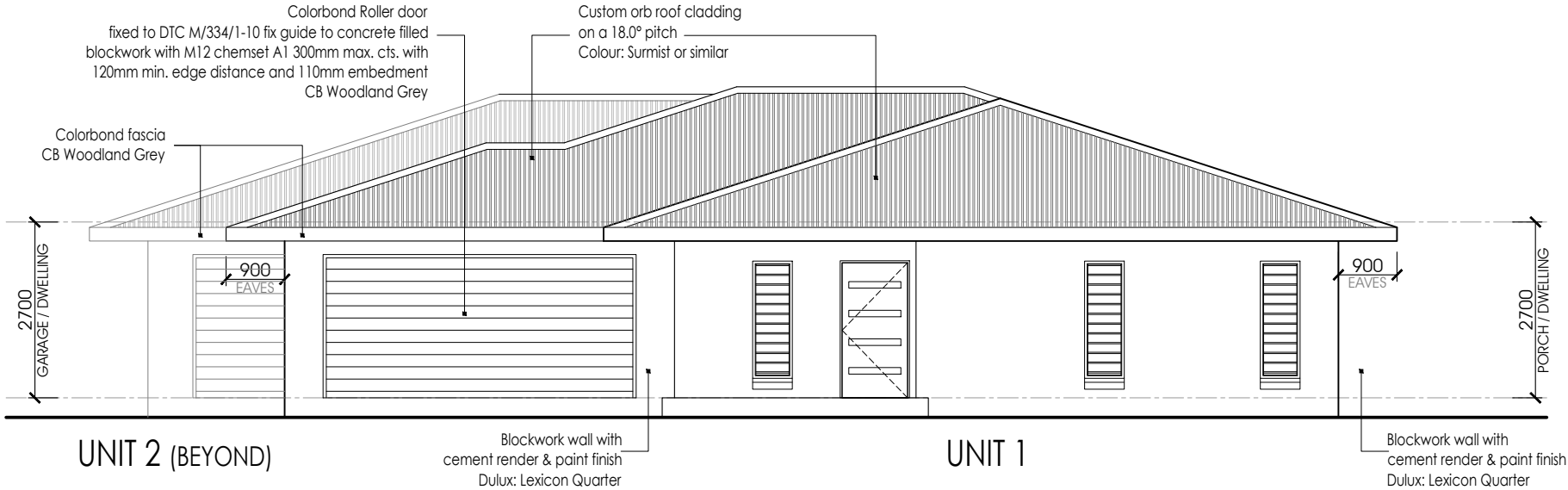
LOCATION	MATERIAL & FINISH	COLOUR (#1)
Roof cladding	Colorbond Custom orb	Colorbond Surfmist
Gable ends	Painted weatherboard cladding	Colorbond Surfmist
Fascia + Barge flashing & Gutter + downpipes	Colorbond	Colorbond Woodland Grey
Eaves & soffit lining	6mm Hardiflex	Dulux (Low Sheen) Lexicon Quarter
Main wall	Blockwork with rendered finish	Dulux (Low Sheen) Lexicon Quarter
Feature wall	Blockwork with rendered finish or tiled cladding	Taubmans (Low Sheen) Taupe Stone
Window & door frames	Powder coated Aluminum	Colorbond Surfmist
Entry & Garage doors	Solid timber (satin) / Colorbond roller door	Colorbond Woodland Grey

INTERNAL COLOUR SCHEDULE

LOCATION	COLOUR (#1)
Ceiling paint finish	Ceiling White
Internal walls, skirtings, plaster bulkhead	Dulux (Low Sheen) Feather soft
Int. doors & door frames,	Dulux (Satin) Lexicon Quarter
Wall Tiles - Bathrooms 300x600	Gloss White Rectified Grout White
Wall Tiles - Laundry & Kitchen splashback (75x300)	Gloss White Rectified Grout White
Floor Tile (600x600-Slip rated P4)	Soho White Matt Grout Charred Ash
Bench top Kitchen & Laundry	Mirostone Aspen White
Kitchen overheads & Laundry doors	Warm White (9779) Velour Finish
Kitchen tall & base doors	Warm White (9779) Velour Finish

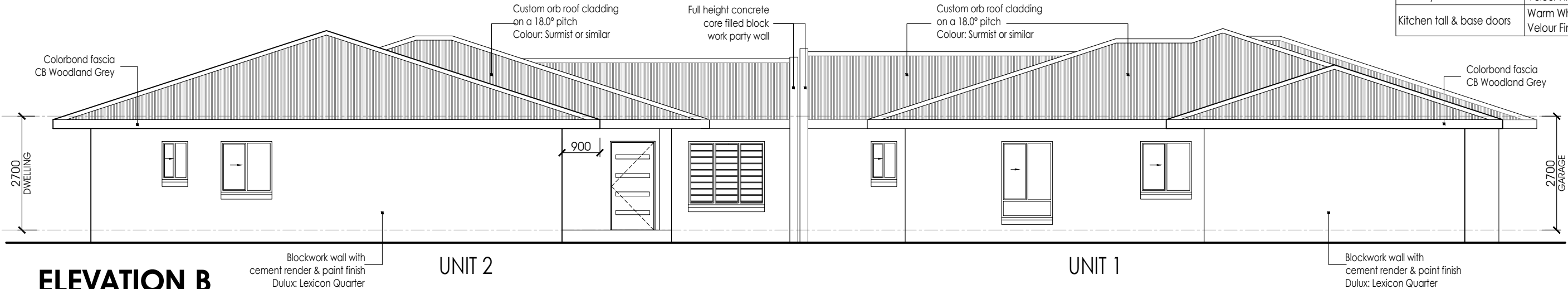
ELEVATION A

SCALE 1:100



ELEVATION B

SCALE 1:100



PROJECT
Proposed Ground Level
Residence

LOCATION
Lot 1689 (13) Telegraph Terrace
Alice Springs
NT 0870

CLIENT
..
..

Date : 06/06/2024
Job NO.
Drawing NO.
& (Revision)

Scale : As shown @ A3
1689-TELE
1689-TELE-04
(Rev.02)

Habitat (NT) Pty Ltd
5/65 STUART HWY-STUART PARK - NT 0820
PO Box 12, Nightcliff NT 0814 | www.habitatnt.com
Ph: (08) 8947 3800 | Fax: (08) 8947 3800
ABN 97 126 602 300 | CAL D-19-14810-02-22 | HIA Member 99051
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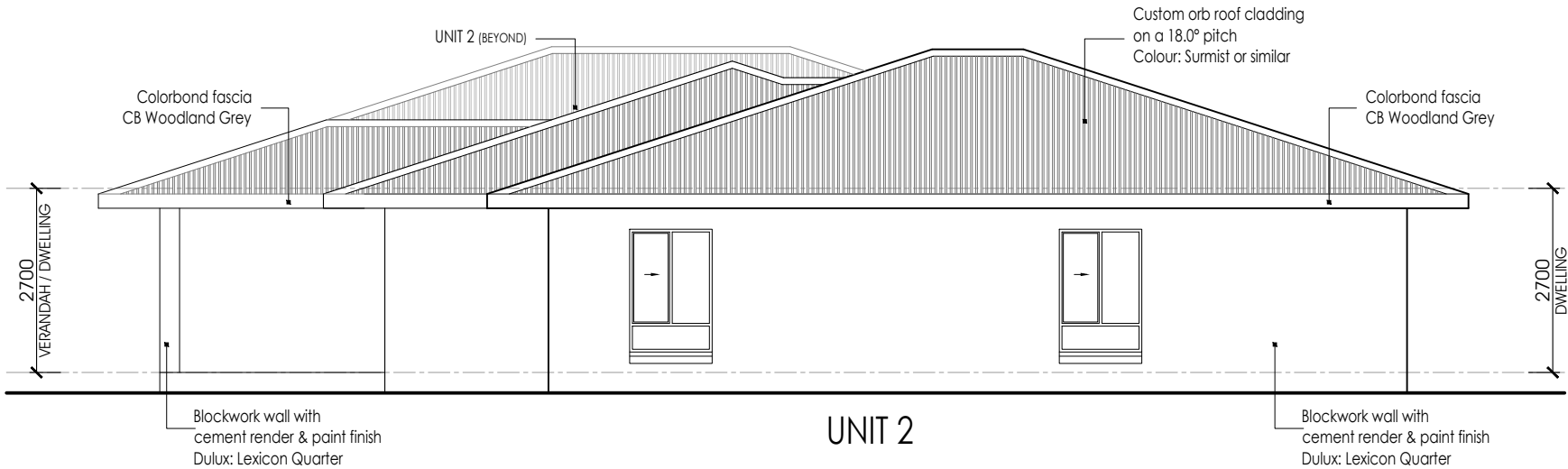


MATERIAL & COLOUR SCHEDULE

LOCATION	MATERIAL & FINISH	COLOUR (#1)
Roof cladding	Colorbond Custom orb	Colorbond Surfmist
Gable ends	Painted weatherboard cladding	Colorbond Surfmist
Fascia + Barge flashing & Gutter + downpipes	Colorbond	Colorbond Woodland Grey
Eaves & soffit lining	6mm Hardiflex	Dulux (Low Sheen) Lexicon Quarter
Main wall	Blockwork with rendered finish	Dulux (Low Sheen) Lexicon Quarter
Feature wall	Blockwork with rendered finish or tiled cladding	Taubmans (Low Sheen) Taupe Stone
Window & door frames	Powder coated Aluminum	Colorbond Surfmist
Entry & Garage doors	Solid timber (satin) / Colorbond roller door	Colorbond Woodland Grey

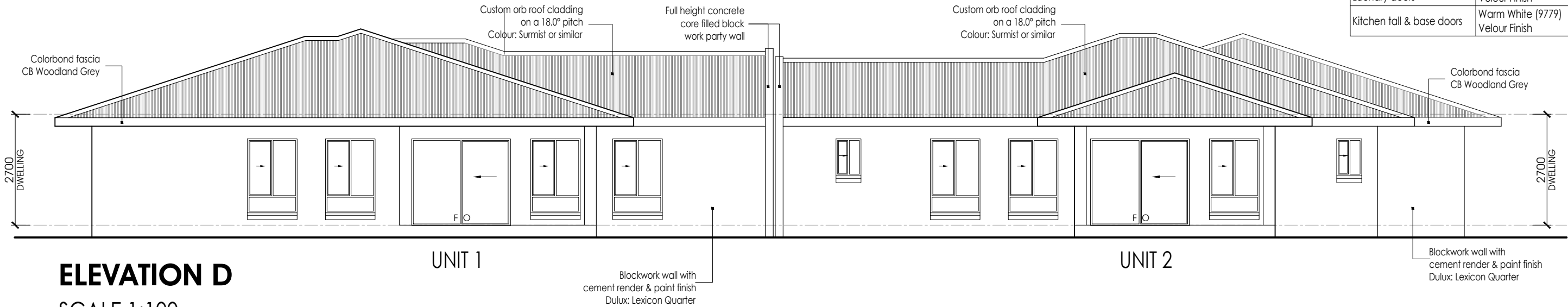
INTERNAL COLOUR SCHEDULE

LOCATION	COLOUR (#1)
Ceiling paint finish	Ceiling White
Internal walls, skirtings, plaster bulkhead	Dulux (Low Sheen) Feather soft
Int. doors & door frames,	Dulux (Satin) Lexicon Quarter
Wall Tiles - Bathrooms 300x600	Gloss White Rectified Grout White
Wall Tiles - Laundry & Kitchen splashback (75x300)	Gloss White Rectified Grout White
Floor Tile (600x600-Slip rated P4)	Soho White Matt Grout Charred Ash
Bench top Kitchen & Laundry	Mirostone Aspen White
Kitchen overheads & Laundry doors	Warm White (9779) Velour Finish
Kitchen tall & base doors	Warm White (9779) Velour Finish



ELEVATION C

SCALE 1:100



ELEVATION D

SCALE 1:100

PROJECT

Proposed Ground Level
Residence

LOCATION

Lot 1689 (13) Telegraph Terrace
Alice Springs
NT 0870

CLIENT

..
..

Date : 06/06/2024

Job NO.

Drawing NO.
& (Revision)

Scale : As shown @ A3

1689-TELE

1689-TELE-05

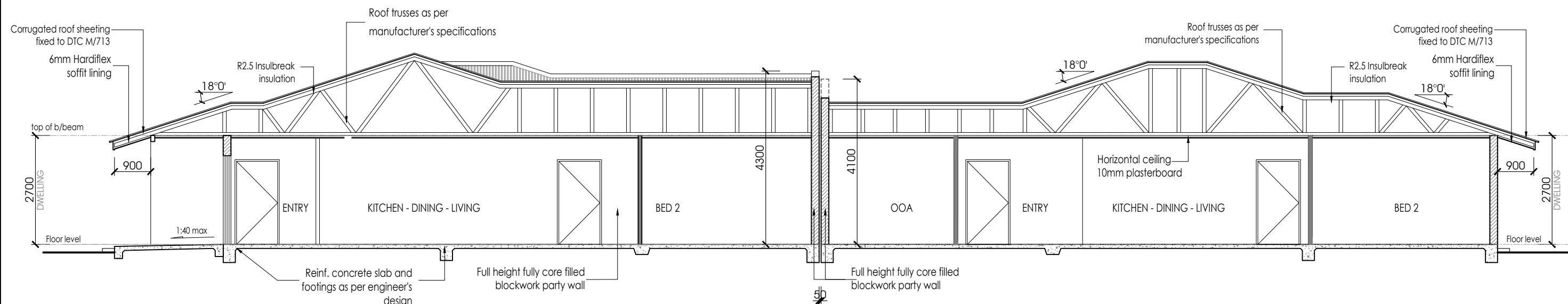
(Rev.02)

Habitat (NT) Pty Ltd

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PO Box 12, Nightcliff NT 0814 | www.habitatnt.com
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ABN 97 126 602 300 | CAL D-19-14810-02-22 | HIA Member 99051

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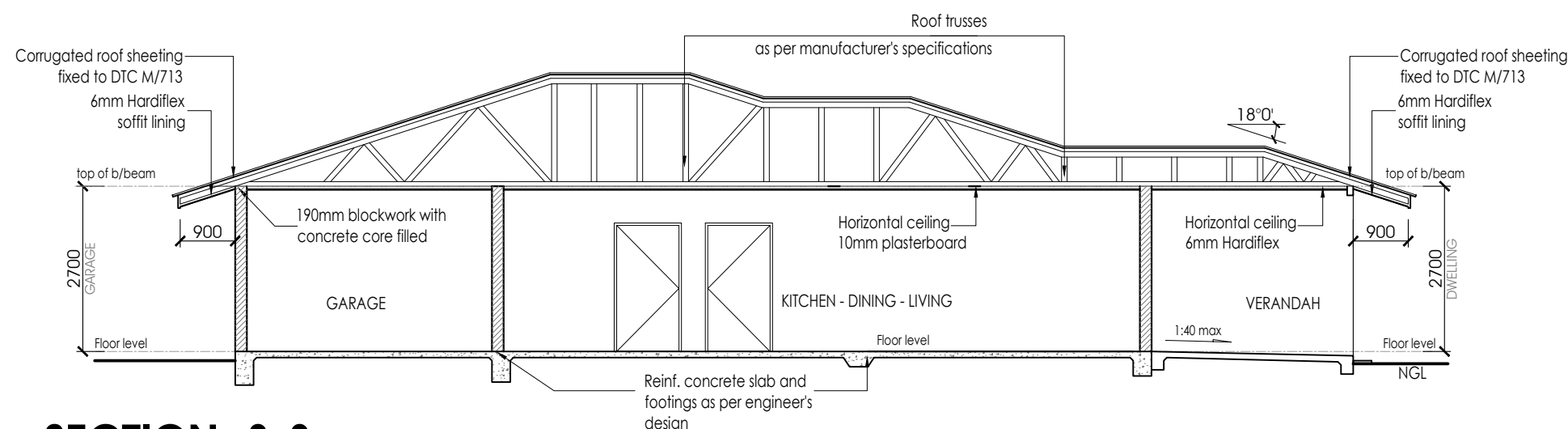
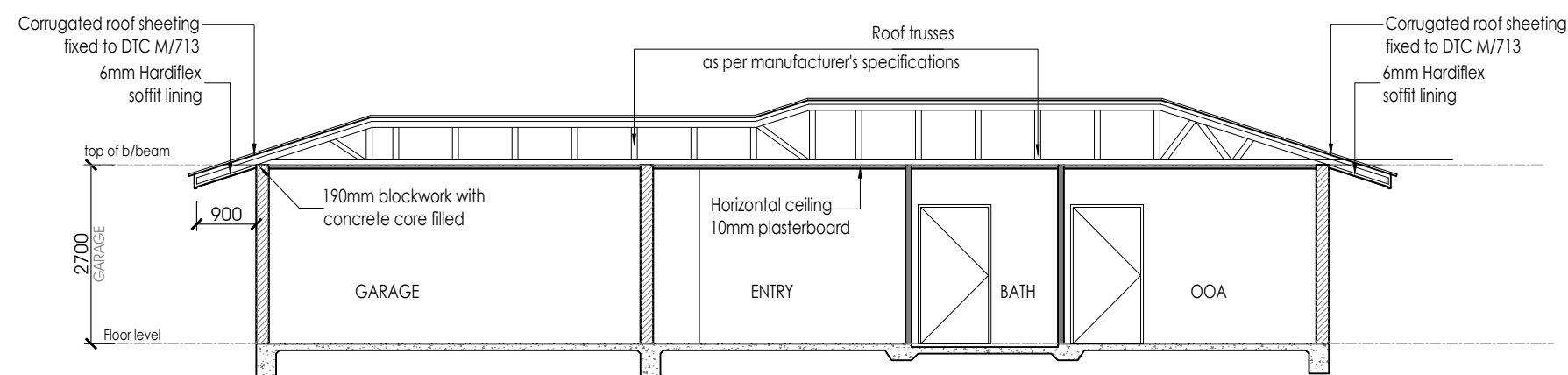


SECTION 1-1

SCALE 1:100

SECTION 2-2

SCALE 1:100

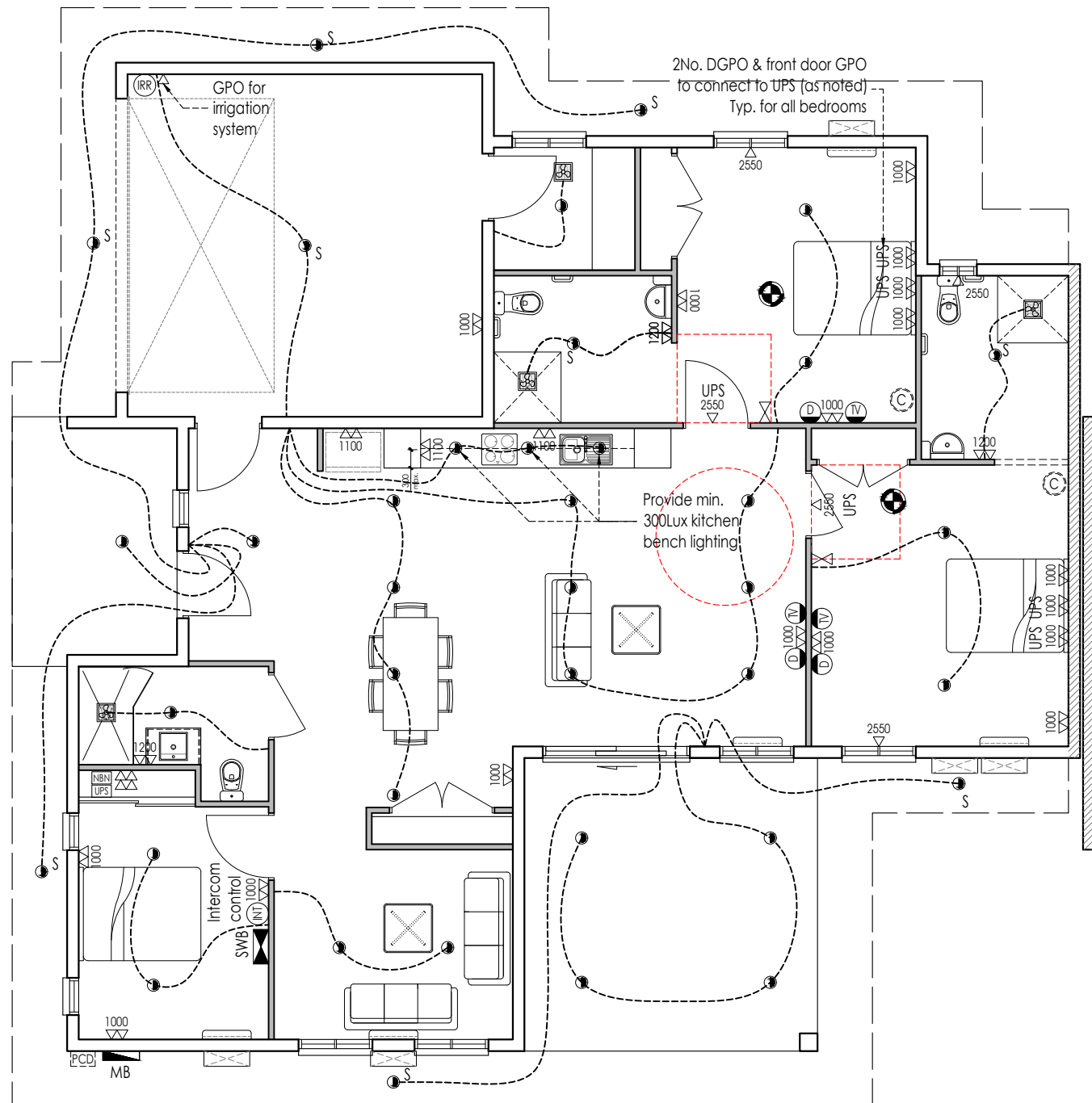


SECTION 3-3

SCALE 1:100

WALL AND ROOF CLADDING FIXING REF.:
 - CORRUGATED ROOF SHEETING FIXED TO DTC M/713.
 - CORRUGATED WALL CLADDING FIXED TO DTC M/337/01.
 - CFC WALL CLADDING FIXED TO DTC M/260/01 - FIX TO BATTENS (OR WALL STUDS) - BATTENS SPACING 450mm CRS MAX.

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99051
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	..	Job NO.	1689-TELE	 habitat
		..	Drawing NO. & (Revision)	1689-TELE-06 (Rev.02)	
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**ELECTRICAL
REFLECTED CEILING PLAN - UNIT 1**
SCALE 1:100

ELECTRICAL NOTE

GENERAL

- High impact/vandal proof fittings and fixtures shall be provided.
- Task lighting shall be provided above workspaces. A minimum level of 300lux shall be achieved when tested at maximum intervals of 1500mm, directly over the surface of the benchtops.
- Recessed lighting fixtures shall be provided
- UPS in Media room cupboard to be connected to 1 No. GPO in each bedroom.

LIGHT SWITCHES

- Position switches in a consistent location between 900mm and 1100 mm from FFL and horizontally aligned with door handle a entrance to room
- All lighting switches are dimmer controls

GPO

- For (FA) and (HPS) Install GPOs between 600mm and 1100 mm from FFL

SWITCH TYPES

- Light and GPO switches shall be rocker action or push pad in design with a minimum width of 35mm

FIRE ALARM

- Smoke alarm to include dual function emergency light

NOTES

Dimmable lighting switches shall be provided in living areas and bedrooms.

NOTES

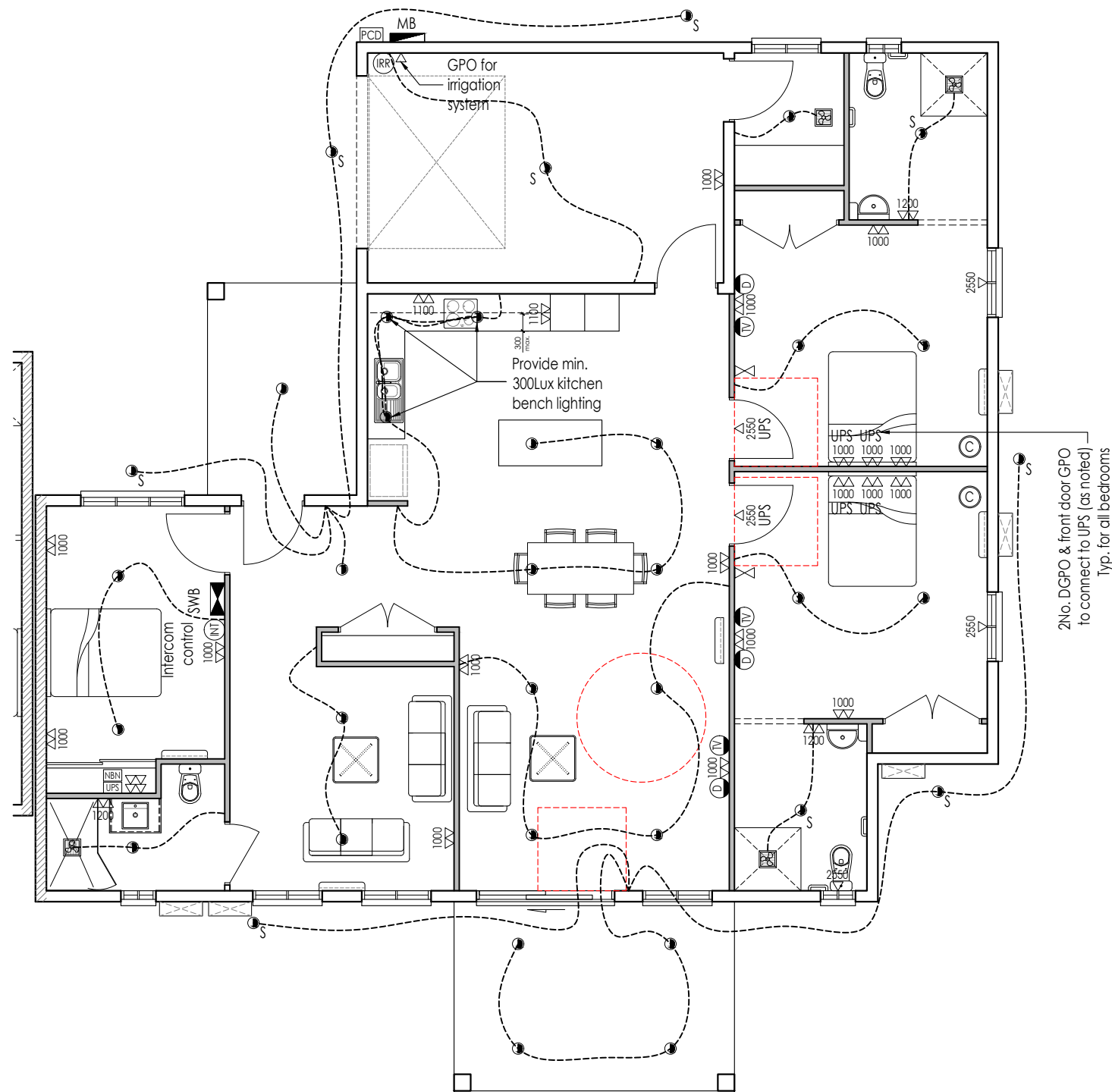
Provide a constant charge power provision in the ceiling of the bedroom.

LEGEND

Meter box	Single / Double Power point with large toggle to comply with NDIS design standard	Constant charge power provision in ceiling
Switch box (OOA)	Phone point	Smoke alarm with spitfire lighting Battery backup (inter-connected)
D90 downlight	TV point	Intercom point
D90 downlight with sensor	Data point	Air-con split unit - internal
Wall feature light	Ceiling fan	Air-con split unit - external
Pendant light	NBN box / Camera NVR / UPS	Exhaust fan (250x250)
Irrigation / Intercom control		

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99051
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	Job NO.	1689-TELE	
			Drawing NO. & (Revision)	1689-TELE-08 (Rev.02)	

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**ELECTRICAL
REFLECTED CEILING PLAN - UNIT 2**
SCALE 1:100

ELECTRICAL NOTE

GENERAL

- High impact/vandal proof fittings and fixtures shall be provided.
- Task lighting shall be provided above workspaces. A minimum level of 300lux shall be achieved when tested at maximum intervals of 1500mm, directly over the surface of the benchtops.
- Recessed lighting fixtures shall be provided
- UPS in Media room cupboard to be connected to 1 No. GPO in each bedroom.

LIGHT SWITCHES

- Position switches in a consistent location between 900mm and 1100 mm from FFL and horizontally aligned with door handle at entrance to room
- All lighting switches are dimmer controls

GPO

- For (FA) and (HPS) Install GPOs between 600mm and 1100 mm from FFL

SWITCH TYPES

- Light and GPO switches shall be rocker action or push pad in design with a minimum width of 35mm

FIRE ALARM

- Smoke alarm to include dual function emergency light

NOTES

Dimmable lighting switches shall be provided in living areas and bedrooms.

NOTES

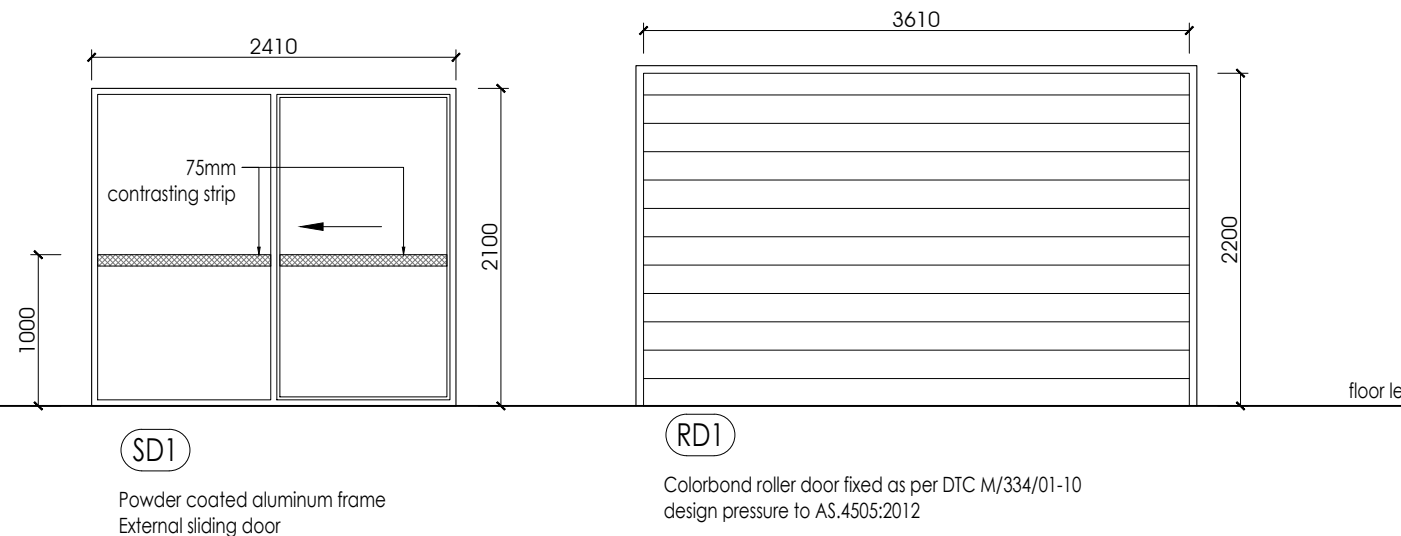
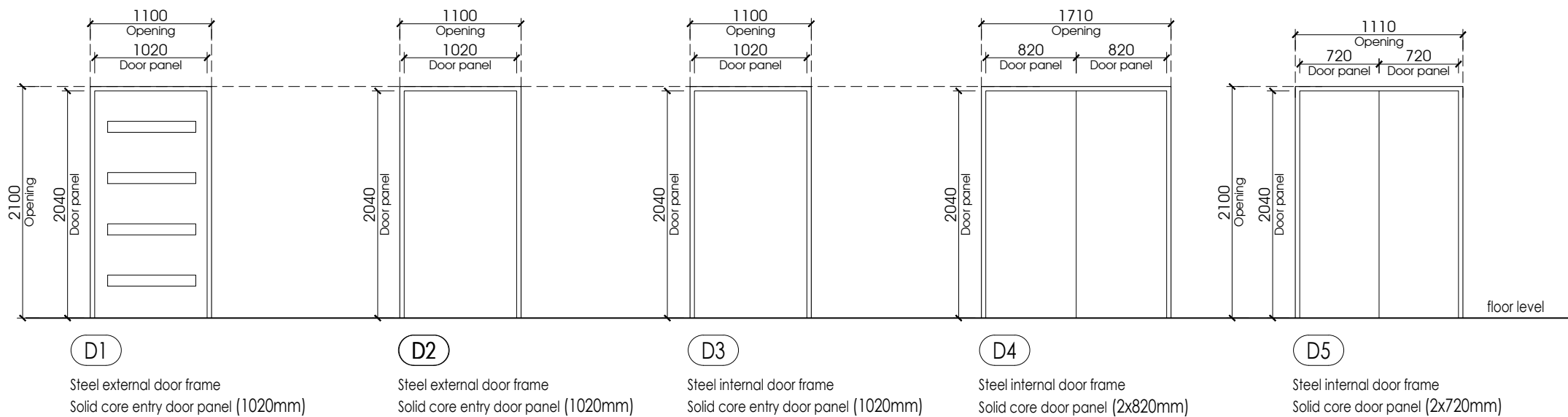
Provide a constant charge power provision in the ceiling of the bedroom.

LEGEND

Meter box	Single / Double Power point with large toggle to comply with NDIS design standard	Constant charge power provision in ceiling
Switch box (OOA)	Phone point	Smoke alarm with spitfire lighting Battery backup (inter-connected)
D90 downlight	TV point	Intercom point
D90 downlight with sensor	Data point	Air-con split unit - internal
Wall feature light	Ceiling fan	Air-con split unit - external
Pendant light	NBN box / Camera NVR / UPS	Exhaust fan (250x250)
Irrigation / Intercom control		

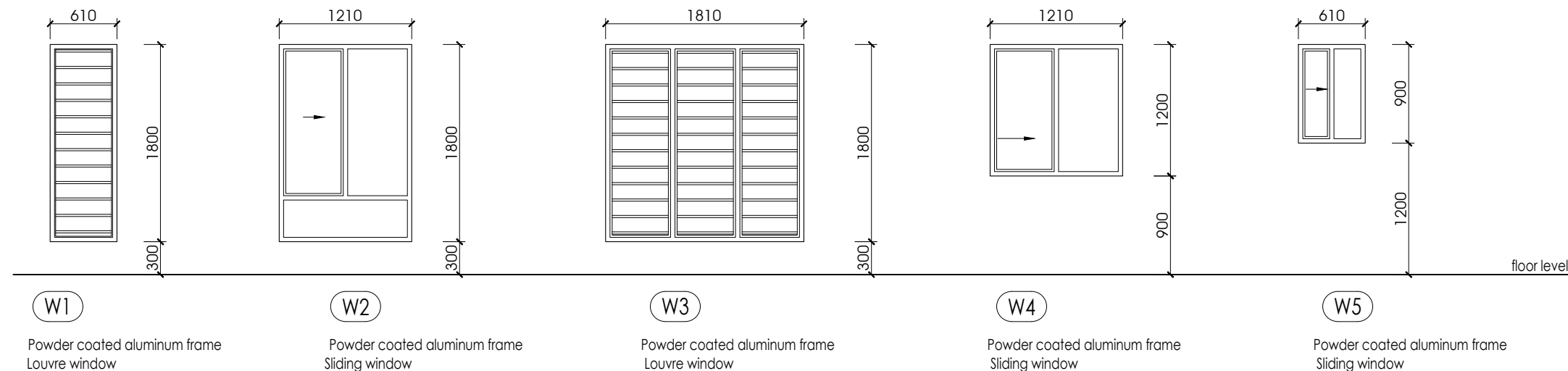
PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99051
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	..	Job NO.	1689-TELE	
			Drawing NO. & (Revision)	1689-TELE-09 (Rev.02)	

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DOOR SCHEDULE

SCALE 1:50



WINDOW SCHEDULE

SCALE 1:50

GLAZING & DOOR NOTES

- DIMENSIONS SHOWN NOMINAL SIZE, THE FABRICATOR SHALL ALLOW FOR TOLERANCES TO THE DOOR & WINDOW FRAMES.
- LAMINATED GLASS OR POLYCARBONATE RESIN THERMOPLASTIC MATERIAL SHALL BE PROVIDED TO ALL GLAZED AREAS, GLAZED DOORS AND SIDE LIGHTS
- ALL WINDOW AND SLIDING DOOR FRAMES, GLAZING, FIXINGS AND INSTALLATION TO BE DESIGNED & CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH AS.1288, AS.2047 & REFER TO ENGINEERS RECOMMENDATIONS FOR DESIGN PRESSURES.
- ALL GLAZING, FRAMING AND FIXINGS SHALL BE DESIGNED AND CERTIFIED BY THE MANUFACTURERS ENGINEERS' TO COMPLY WITH THE CURRENT EDITION OF AS.1170 PART 2, AS.1288, AS.2047.
- PROVIDE STRUCTURAL ENGINEERS SECTION 40 CERTIFICATE OF COMPLIANCE (N.T. BUILDING ACT 2016).
- BATHROOM WINDOWS SHALL CONFORM TO HUMAN IMPACT SAFETY REQUIREMENTS AS.1288 CLAUSE 5-12. (if applicable)
- WATER PENETRATION TEST PRESSURE SHALL BE 220 Pa.
- GLAZED DOORS AND WINDOWS INCLUDING FIXING DETAILS MUST BE DESIGNED AND CERTIFIED BY THE MANUFACTURER ON APPROVED FORM PRIOR TO COMMENCEMENT OF BUILDING WORKS. THIS FORM IS REQUIRED AS PART OF THE FINAL DOCUMENTATION COMPLIANCE WITH AUSTRALIAN STANDARD 1288 & 2027 AND ASSOCIATED CODES AS REQUIRED.
- GLAZED DOORS & WALLS MUST BE DESIGNED IN COMPLIANCE WITH THE CURRENT EDITION OF AS.1288, AS.1428 FOR VISIBILITY REQUIREMENTS
- SOLID (AND NON-TRANSLUCENT) CONTRASTING GLAZING STRIP OF 75MM WIDTH AND BETWEEN 900MM TO 1000MM ABOVE FFL SHALL BE PROVIDED FOR THE FULL WIDTH OF A GLAZED AREA WHICH COULD BE MISTAKEN FOR AN OPENING.
- HIGH IMPACT/VANDAL PROOF FITTINGS AND FIXTURES SHALL BE PROVIDED
- DOOR HARDWARE INSTALLED AT BETWEEN 900MM AND 1100 MM FROM FFL

NOTES

All windows to be lockable

NOTES

Window controls shall be located within easy reach from either a seated or standing position (between 600mm to 1100mm above FFL)

PROJECT

Proposed Ground Level
Residence

LOCATION

Lot 1689 (13) Telegraph Terrace
Alice Springs
NT 0870

CLIENT

..
..

Date : 06/06/2024

Job NO.

Drawing NO.
& (Revision)

Scale : As shown @ A3

1689-TELE

1689-TELE-10

(Rev.02)

Habitat (NT) Pty Ltd

5/65 STUART HWY-STUART PARK - NT 0820

PO Box 12, Nightcliff NT 0814 | www.habitatnt.com

Ph: (08) 8947 3800 | Fax: (08) 8947 3800

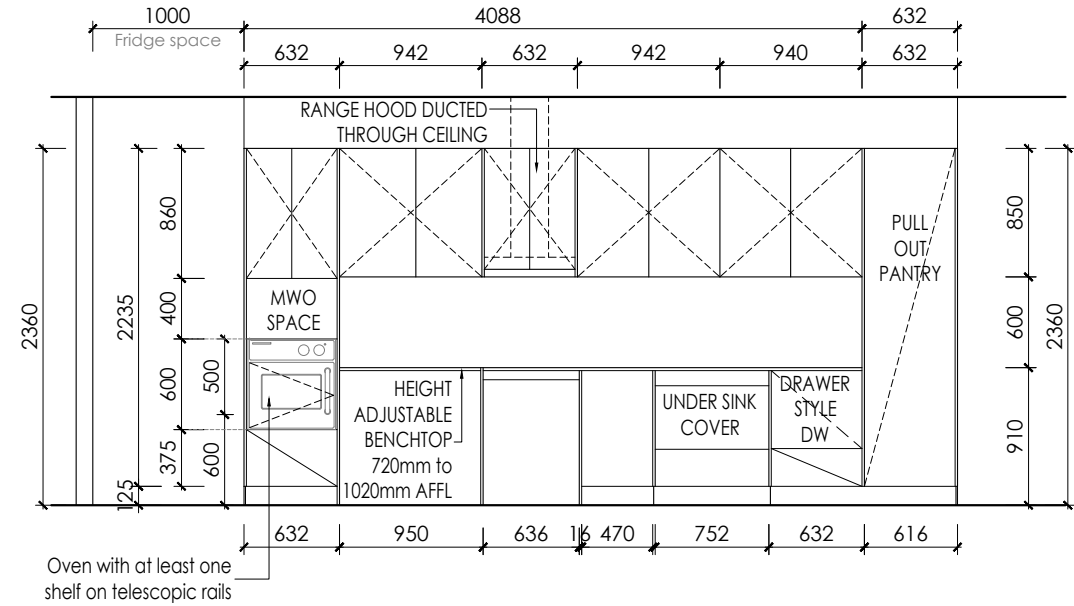
ABN 97 126 602 300 | CAL D-19-14810-02-22 | HIA Member 99058

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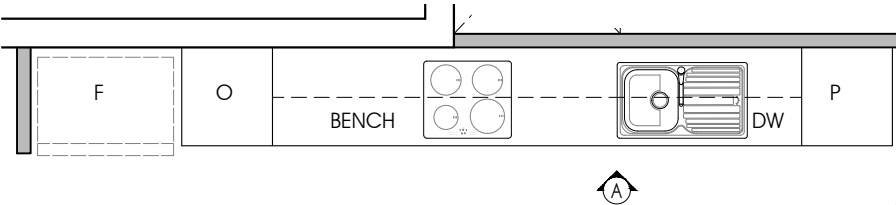
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UNIT 1



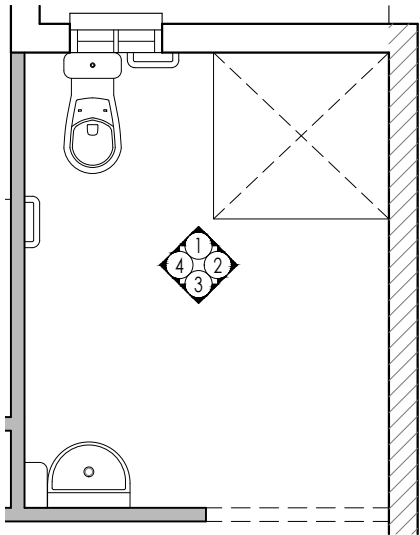
KITCHEN ELEVATION A
SCALE 1:50



KITCHEN PLAN
SCALE 1:50

NOTES
CABINET MAKER TO CHECK ACTUAL MEASUREMENTS ON-SITE FOR CORRECT MANUFACTURING & INSTALLATION

NOTES
Provide D pull cupboard handles located towards the top of below-bench cupboards & the bottom of overhead cupboards

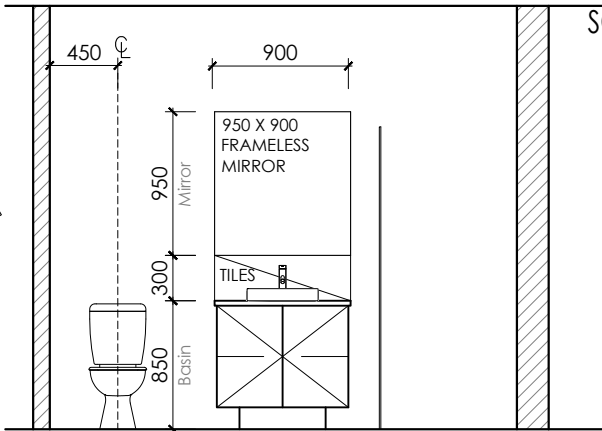
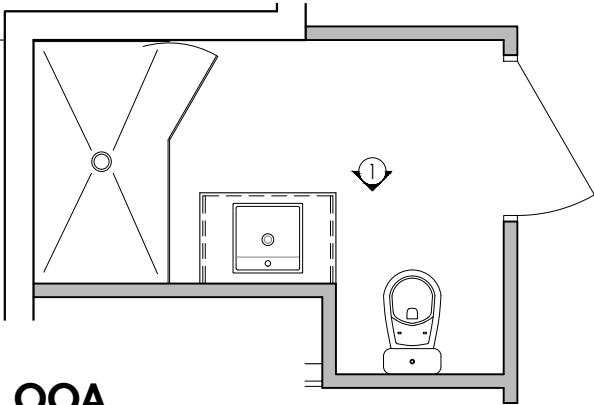


ENS. PLAN (TYP.)
SCALE 1:50

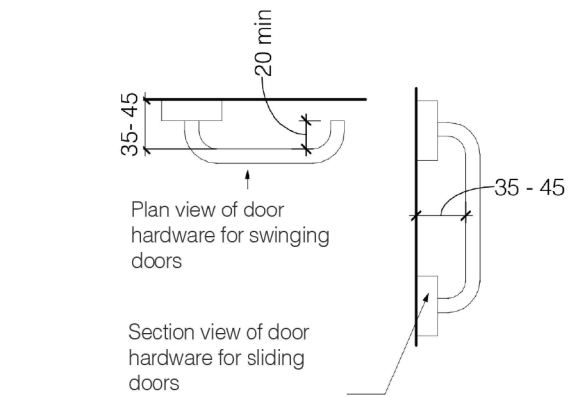
NOTES
Toilet flushing controls shall be proud of the surface

NOTES
Slip resistance of all floors to sanitary facilities shall be minimum of P3 or R10.

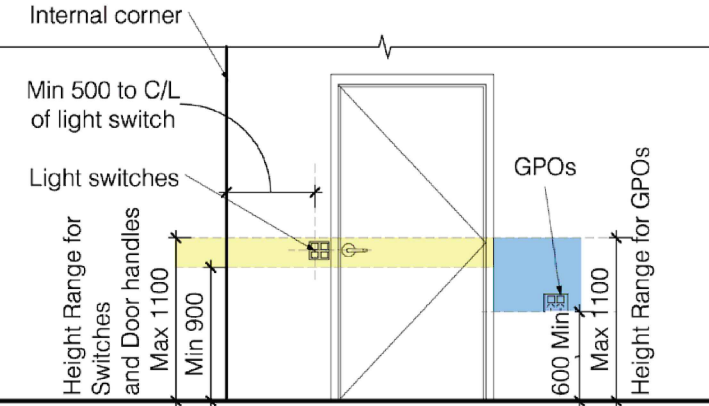
OOA
PDR PLAN
SCALE 1:50



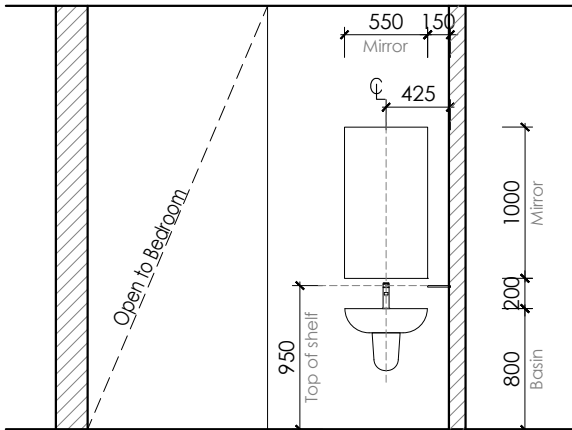
OOA BATH VIEW 1
SCALE 1:50



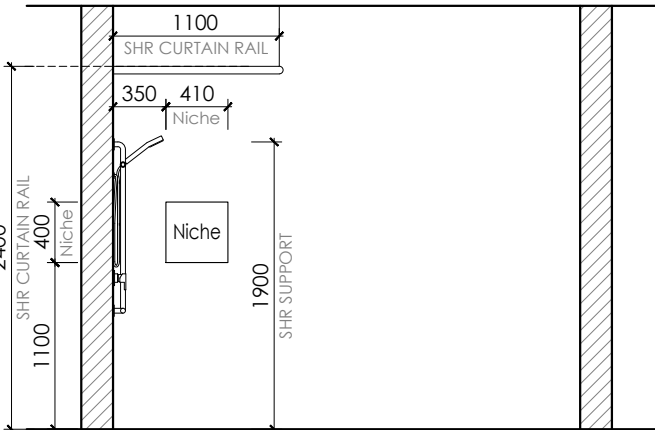
PROPOSED DOOR
HARDWARE
NTS



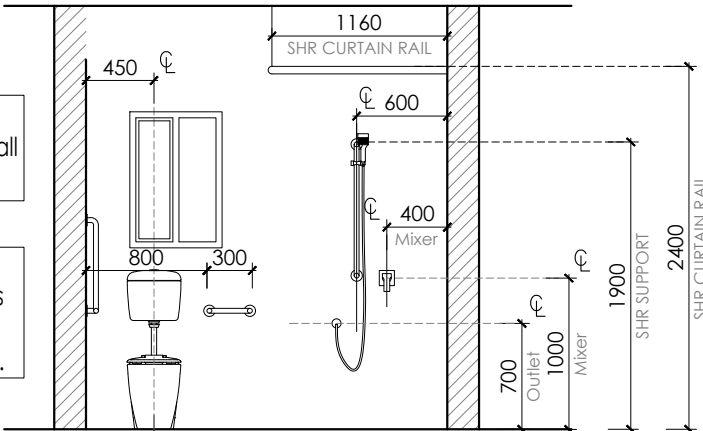
LOCATION OF LIGHT SWITCHES,
GPOS AND DOOR HANDLES
NTS



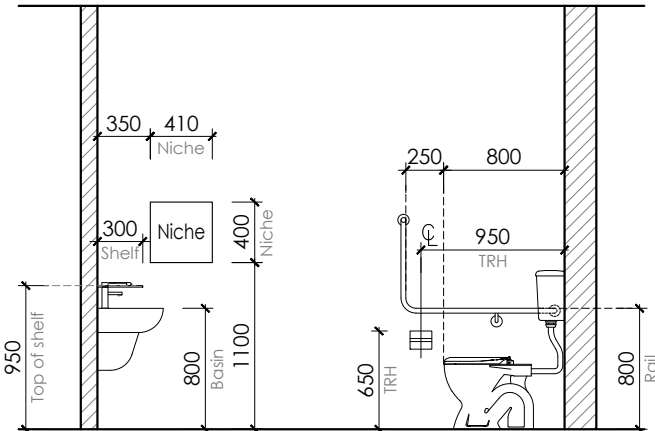
VIEW 1
SCALE 1:50




VIEW 2
SCALE 1:50



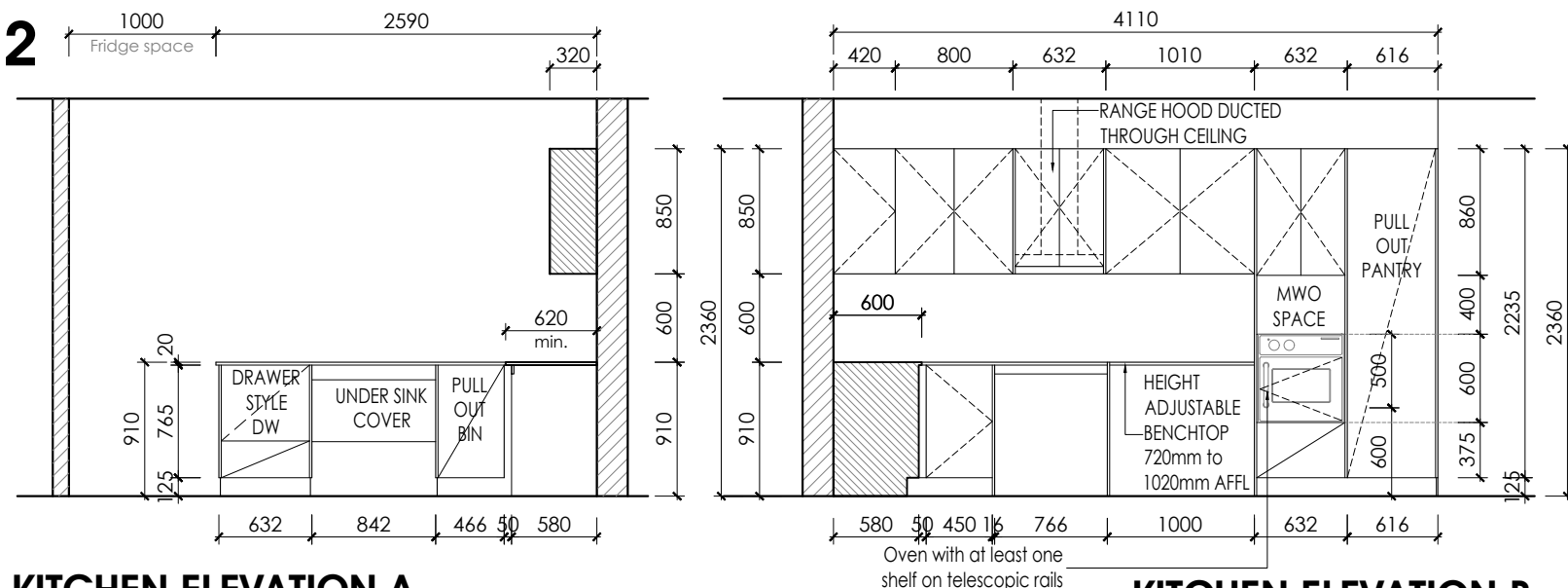
VIEW 3
SCALE 1:50



VIEW 4
SCALE 1:50

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99051
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	Job NO.	1689-TELE	 Builders Who Return Your Call Those who never change their minds never change anything
			Drawing NO. & (Revision)	1689-TELE-11 (Rev.02)	

UNIT 2

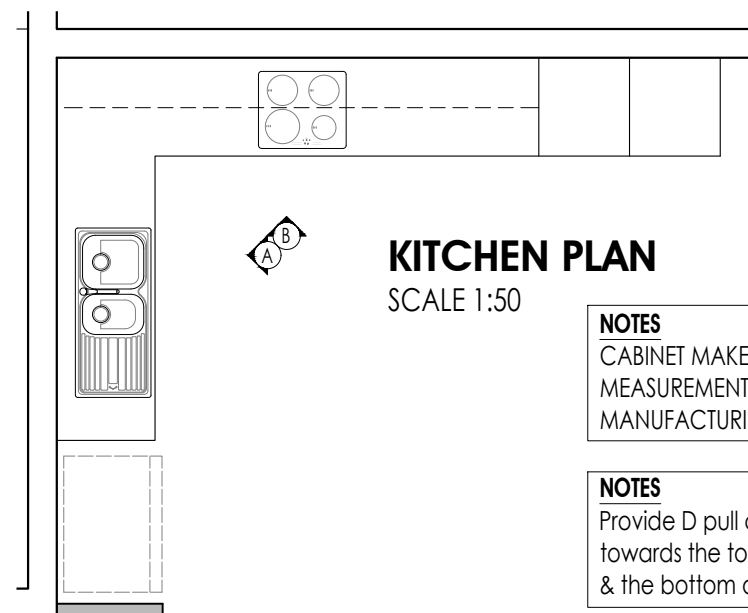
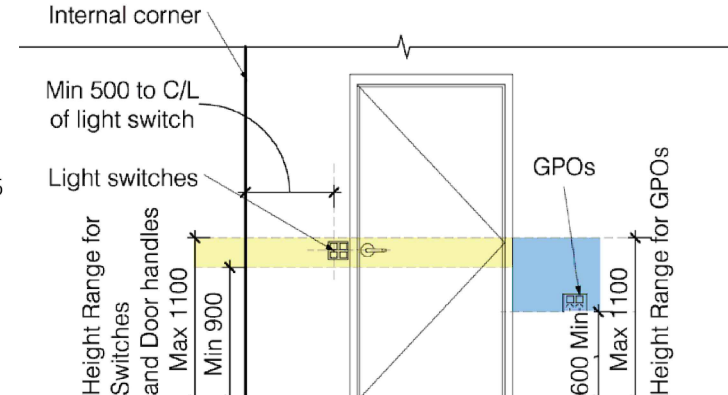
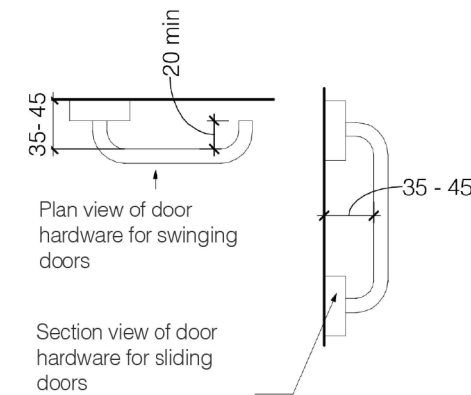


KITCHEN ELEVATION A
SCALE 1:50

KITCHEN ELEVATION B
SCALE 1:50

PROPOSED DOOR HARDWARE
NTS

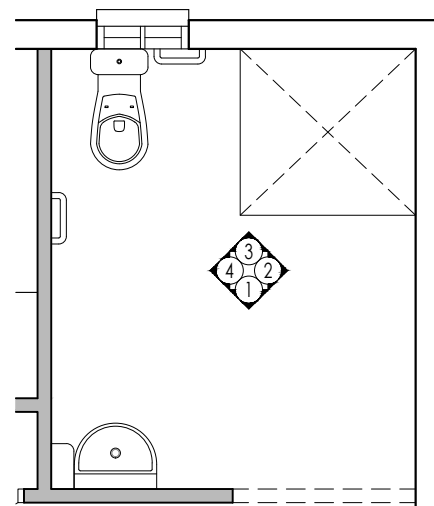
LOCATION OF LIGHT SWITCHES, GPOS AND DOOR HANDLES
NTS



KITCHEN PLAN
SCALE 1:50

NOTES
CABINET MAKER TO CHECK ACTUAL MEASUREMENTS ON-SITE FOR CORRECT MANUFACTURING & INSTALLATION

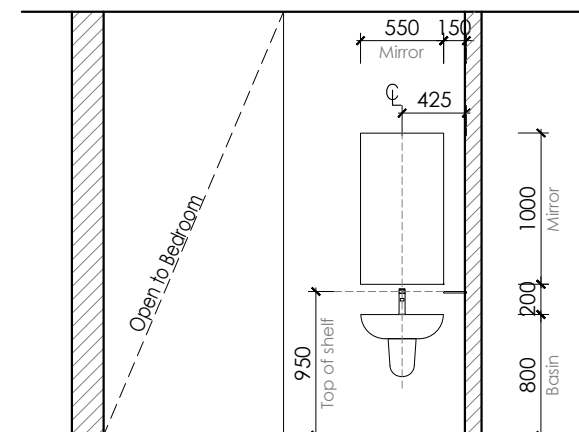
NOTES
Provide D pull cupboard handles located towards the top of below-bench cupboards & the bottom of overhead cupboards



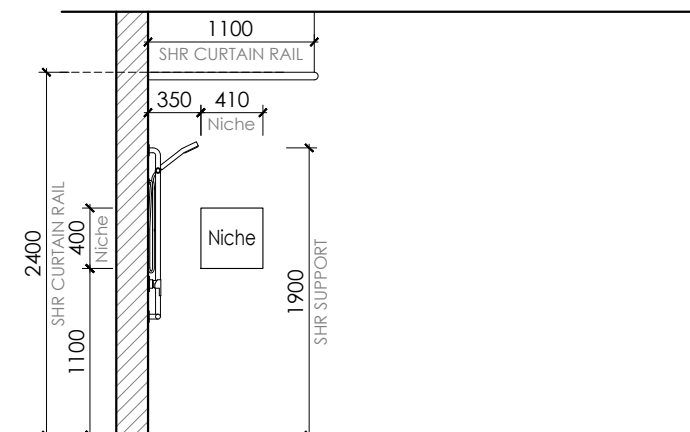
ENS. PLAN (TYP.)
SCALE 1:50

NOTES
Toilet flushing controls shall be proud of the surface

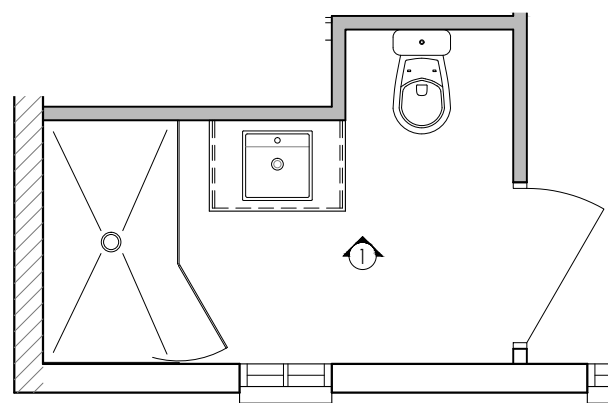
NOTES
Slip resistance of all floors to sanitary facilities shall be minimum of P3 or R10.



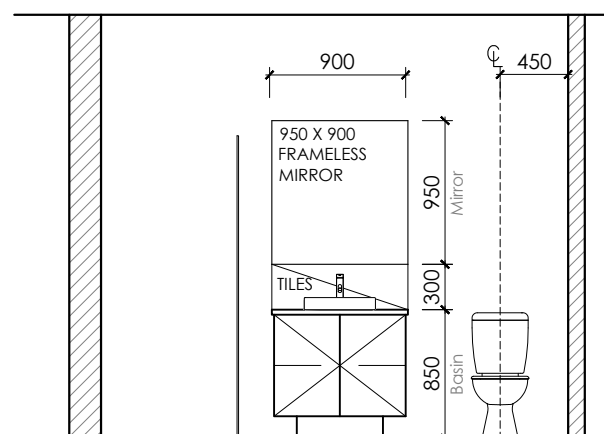
VIEW 1
SCALE 1:50



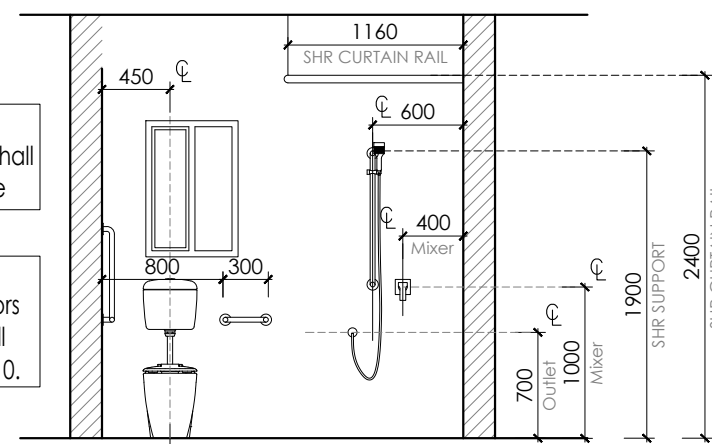
VIEW 2
SCALE 1:50



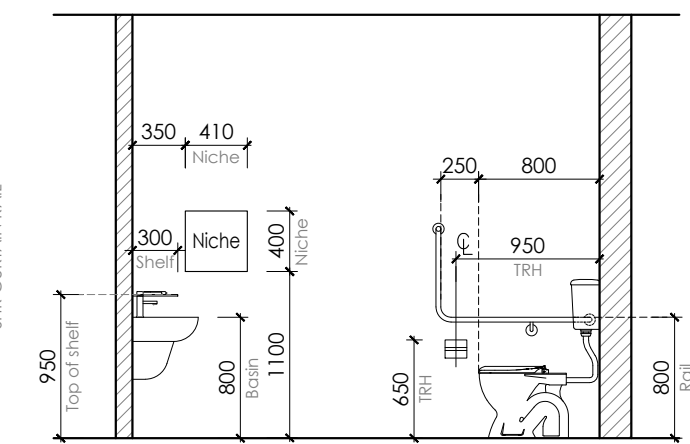
OOA BATH PLAN
SCALE 1:50




OOA BATH VIEW 1
SCALE 1:50

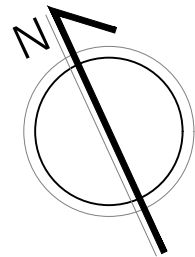


VIEW 3
SCALE 1:50

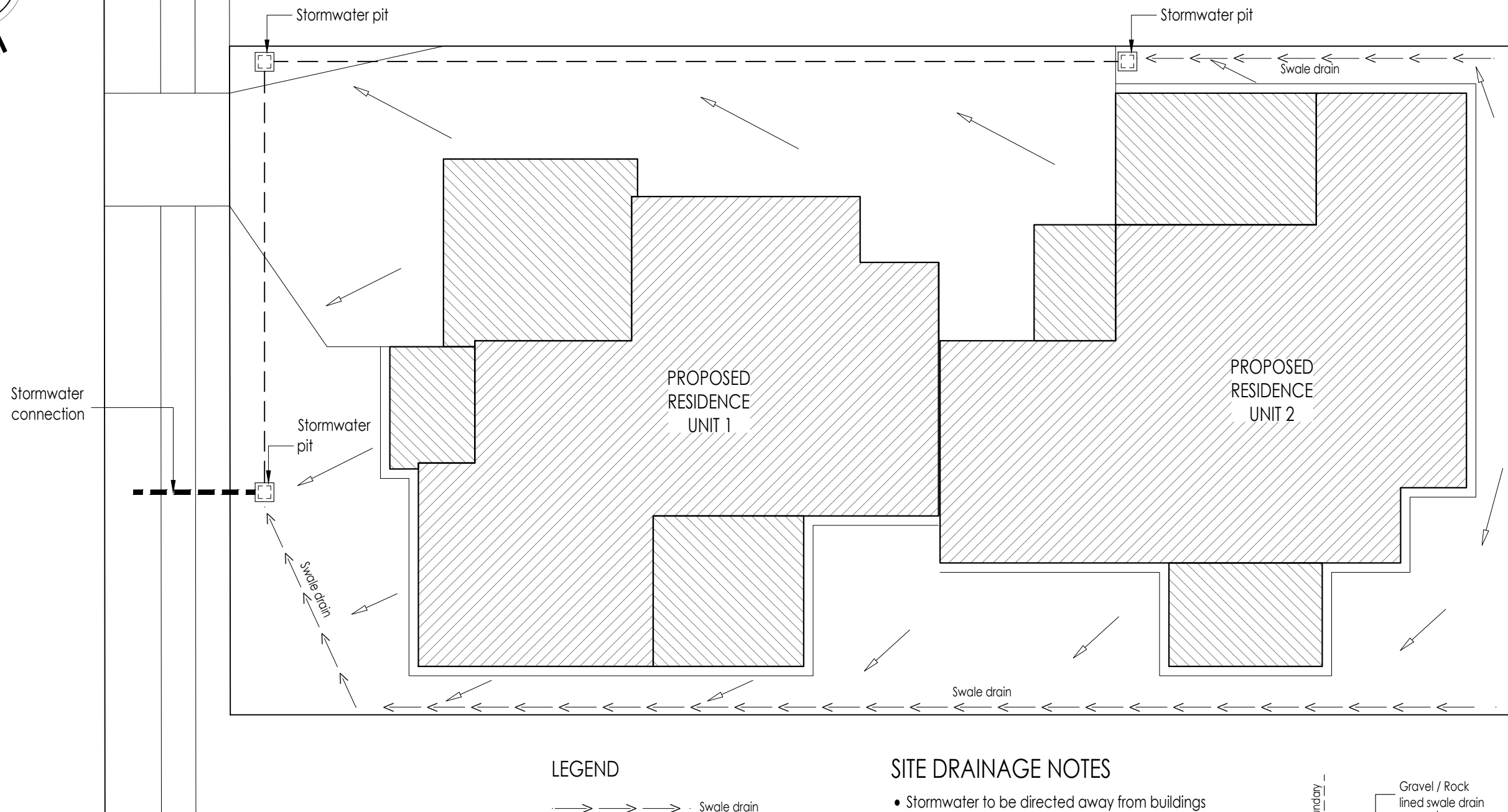


VIEW 4
SCALE 1:50

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99051
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	..	Job NO.	1689-TELE	 <p>Builders Who Return Your Call Those who never change their minds never change anything</p>
		..	Drawing NO. & (Revision)	1689-TELE-12 (Rev.02)	



TELEGRAPH TERRACE



STORMWATER MANAGEMENT PLAN

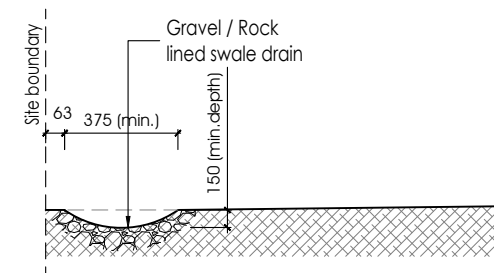
SCALE 1:150

LEGEND

- → → Swale drain
- General direction of fall
- - - - - Underground storm water pipe

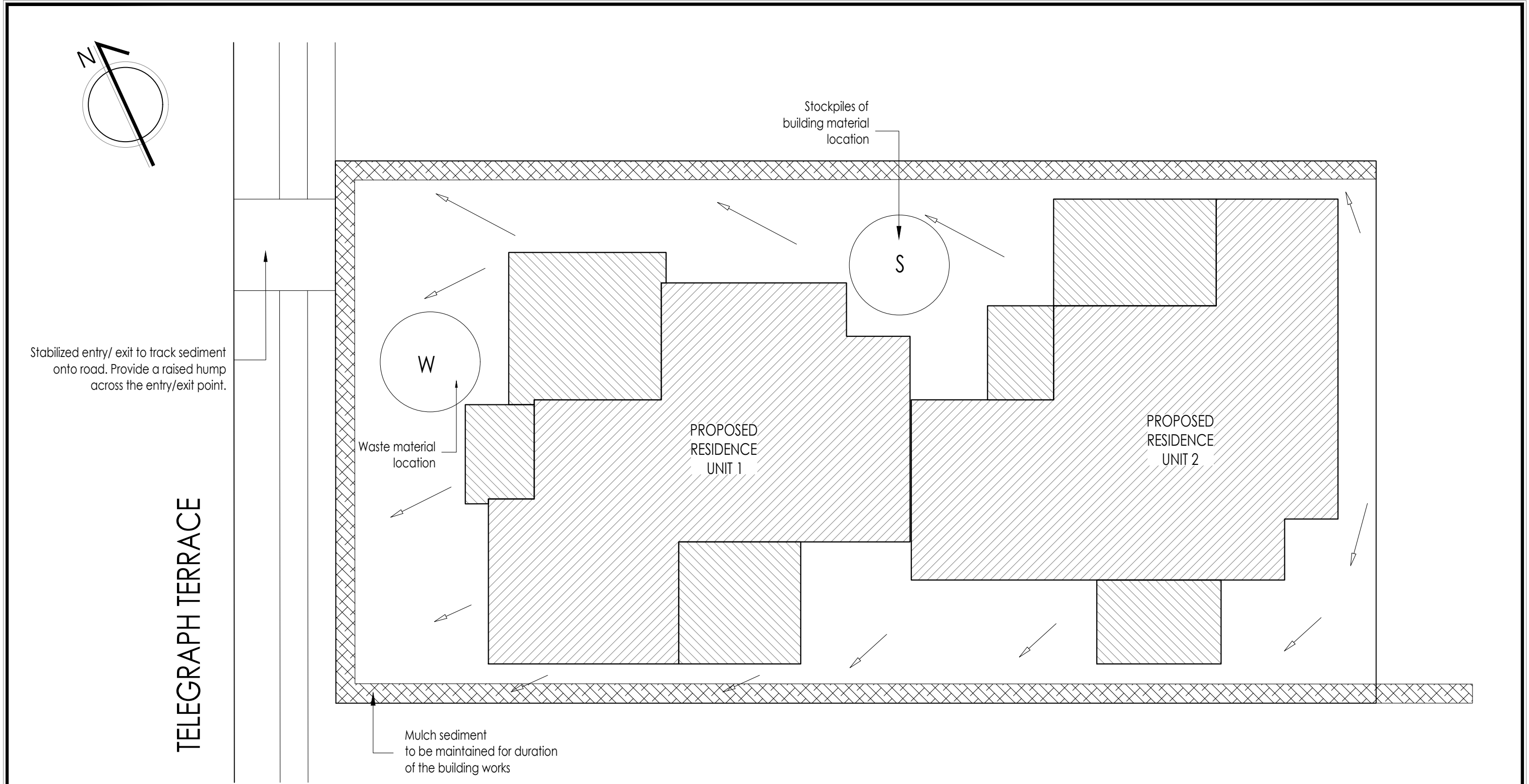
SITE DRAINAGE NOTES

- Stormwater to be directed away from buildings
- Stormwater pits to be 300 series
- Concrete kerb on site boundary to be 150mm high min. above ground level
- Concentration on property or run-off onto neighbor properties is not permitted
- Hard landscape treatment to be required below eaves line to minimize scour and erosion
- Certification of overland flow to street services to be comply with relevant standards for overland flow and stormwater disposal



SWALE DRAIN DETAIL

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	<div>Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99058</div> <div>Builders Who Return Your Call Those who never change their minds never change anything</div> <div></div>
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	Job NO.	1689-TELE	
			Drawing NO.	1689-TELE-13	
			& (Revision)	(Rev.02)	



EROSION & SEDIMENT CONTROL PLAN

SCALE 1:150

SITE SEDIMENT & EROSION CONTROL NOTES

- Contractor to provide regular sweeps adjacent street and gutters clean.
- No hosing to apply.
- Any sediment should be relocated on or suitably disposed.
- No parking or stockpiling on nature strip or footpaths.
- Avoid any damage to developers landscaping.

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	<div>Habitat (NT) Pty Ltd</div> <div>5/65 STUART HWY-STUART PARK - NT 0820</div> <div>PO Box 12, Nightcliff NT 0814 www.habitatnt.com</div> <div>Ph: (08) 8947 3800 Fax: (08) 8947 3800</div> <div>ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99058</div> <div>Builders Who Return Your Call</div> <div>Those who never change their minds never change anything</div>
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	..	Job NO.	1689-TELE	
			Drawing NO. & (Revision)	1689-TELE-14 (Rev.02)	



STRUCTURAL NOTES

GENERAL

1. Read drawings in conjunction with all Architectural and other consultants' drawings and specifications and with such other written instructions as may be issued during the course of the Contract. Refer all discrepancies to the Superintendent for decision before proceeding with the work.
2. Verify all dimensions relevant to setting out and off-site work before construction and fabrication is commenced. Do not scale the drawings unless noted otherwise.
3. During construction maintain the structure in a stable condition and ensure no part is overstressed under construction activities.
4. Comply with the relevant current S.A.A. codes including all amendments, and the local Statutory Authorities' regulations, except where varied by the Contract Documents.
5. Seek approval for all substitutions from the Superintendent. Take any extra involved up with the Superintendent before the work commences.
6. All dimensions are in millimetres unless stated otherwise. All levels are expressed in metres.
7. The structural work shown on these drawings has been designed for the following live loads:-

AREA	LIVE LOAD kPa
FLOOR LOADING :-	
Internal	1.5
Verandah	1.5
Roof	0.25

8. Existing services are plotted from the best information available. No responsibility is taken for the accuracy and completeness of the information shown. Establish, on site, the exact position of all underground services indicated on the Drawing(s) in the areas of the proposed works, and advise the Superintendent in the event of any discrepancies which affect the proposed works.
9. The Design Wind Criteria is as follows:-

Region : C

Design Wind Speed : V500 69.3m/s

Terrain Category : 2.5

Nett Ext Pressure : 1.5

Coefficient : Max
10. Comply with AS1170.2 - 2011

FOOTINGS

1. Found all footings in original undisturbed ground having a safe bearing capacity of 150 kPa as noted on drawings. Before any concrete is placed, ensure the safe bearing capacity is verified.
2. CBackfill sewers, stormwater drains and other in-ground services adjacent to buildings, if laid before footings are constructed, with approved fill placed in 200mm max layers and compacted to 95% MMDD. If laid after footings are constructed, avoid undermining of footings by either fully shoring trenches, or keeping excavation outside an influence line extending downwards at a slope of 1 in 1.5 from the influence line extending downwards at a slope of 1 in 1.5 from the bottom corner of all footings. Backfill trenches as noted above.
3. Use selected fill (gravel, decomposed or broken rock) free from clay lumps and organic matter, conforming with the following grading requirements:-

AS METRIC SIEVE	% PASSING BY WEIGHT	AS METRIC SIEVE	% PASSING BY WEIGHT
75.0 mm	100	2.36 mm	20 - 50
9.5 mm	30 - 100	0.075 mm	5 - 25

- Strip the area of the works of all top soil and deleterious material prior to placement of fill or compaction. Compact fill up to 150 mm below slab level in 150 mm layers to 90% MMDD.
4. Compact fill in the 150 mm layer immediately below slab level to 95% MMDD. Compact sand blinding layer below concrete slab by vibration plate or flooding to 95% MMDD.
 5. Backfill over excavation with lean mix concrete.
 6. Builder to confirm site classification "S" to AS2870.

TERMITE MANAGEMENT SYSTEM

1. Termite Management System to be installed and certified by an approved applicator in accordance with AS 3660-2000 Part 1. A durable certificate is to be placed in the meter box on completion.
2. Slab to be used as a termite barrier: 100 slab on ground, F82 mesh to top face. Provide 50mm sand blinding layer and Fortecon vapour barrier to the underside of slab. Provide termite collars around penetrations. Cure slab with curing compound to AS 3600 and to Manufacturers specifications eg 'Ultracure' or approved similar. 3F11TM in footings U.N.O. R6 ligs at 600 crs. Concrete grade: N20/20 Exposure classification: A1 Cover: Footings - 50mm

CONCRETE

1. Comply with AS 3600.
2. Do not make any holes, chases or embedment of pipes other than those shown on the structural drawings in concrete members without prior approval of the Engineer.
3. Properly form construction joints and use them only where shown or specifically approved by the Engineer.
4. Reinforcement is represented diagramatically and not necessarily shown in true projection.
5. Make splices in reinforcement only in the positions shown or as otherwise approved by the Engineer. Splice fabric one panel plus 25 mm unless otherwise noted.
6. Do not weld reinforcement without the approval of the Engineer..
7. Securely support all reinforcement in its correct position during concreting by approved bar chairs, spacers or support bars.
8. Camber - unless noted otherwise on drawings, give slabs and beams sufficient upwards camber to allow for settlement and deflection of formwork. Agree the method of cambering with the Engineer.
9. Design and construct formwork in accordance with AS 3610.
10. Cast concrete components as follows:-

ELEMENT	GRADE	SLUMP (mm)
Footings and Ground Slab	N20/20	80 ± 15
Suspended Slabs and Columns	N32/20	80 ± 15
Core Fill	N20/5	225 ± 25

11. Hot dip galvanise all cast in bolts, plates etc.
12. Continuously cure slabs for a minimum of 7 days after casting by ponding, covering with a waterproof membrane or other approved means.

TIMBER NOTES

1. All timber and timber work to comply with AS1720
2. Min grade timber to be F14 to AS1720

GLAZING

1. Glazed windows & doors including frames, glazing & fixings to comply with AS 1288 and AS 2047 and be certified by the Manufacturer for cyclonic region.
2. Sliding glass doors to have safety motifs.
3. Windows less than 500mm from the floor level or less than 500mm from an opening require safety glass in accordance with AS 1288.

WATERPROOFING

1. Wet area waterproofing to be installed to AS3740 and to manufacturers specifications.

BLOCKWORK

1. Comply with AS 3700. Use Grade 12 blocks (12 MPa) complying with AS 2733 for all blockwork UNO.
2. Use mortar consisting of 1:1:6 of cement, lime and sand. Use sand which is free of clay.
3. Use concrete of 10mm max aggregate size with F'c = 15 MPa and slump of 225 mm plus or minus 25 mm for core, bond beam and lintel beam fitting.
4. Fully bed face shells and crosswebs.
5. Provide a minimum of 1 N12 each side to all openings.
6. The minimum cover to reinforcement from the blockface is 50 mm.
7. Bond all walls at intersections, either by blockwork bonding, or tie bonding using 30 x 6 plate steel ties 250 long with 50 mm downturned ends, at 400 mm centres.
8. Do not make any chases or holes without the approval of the Structural Engineer.
9. Unless noted otherwise, reinforce all blockwalls except 100 mm Series walls with 1 N12 central every third core. Provide 1 N12 minimum at the end of all walls and adjacent to all discontinuities such as openings, control joints, etc. Concrete fill all cores of party walls and external walls - refer to Architect's drawings for locations.
10. Concrete fill all cores containing reinforcement and cores where masonry anchors are to be used. Provide piers (i.e. wall sections 1000 wide or less) with 1N12 each core, unless detailed otherwise.
11. Provide a single bond beam reinforced with 2N12 over all reinforced blockwalls and under windows greater than 1800 wide.
12. Fill all block cores under windows greater than 1800 wide.

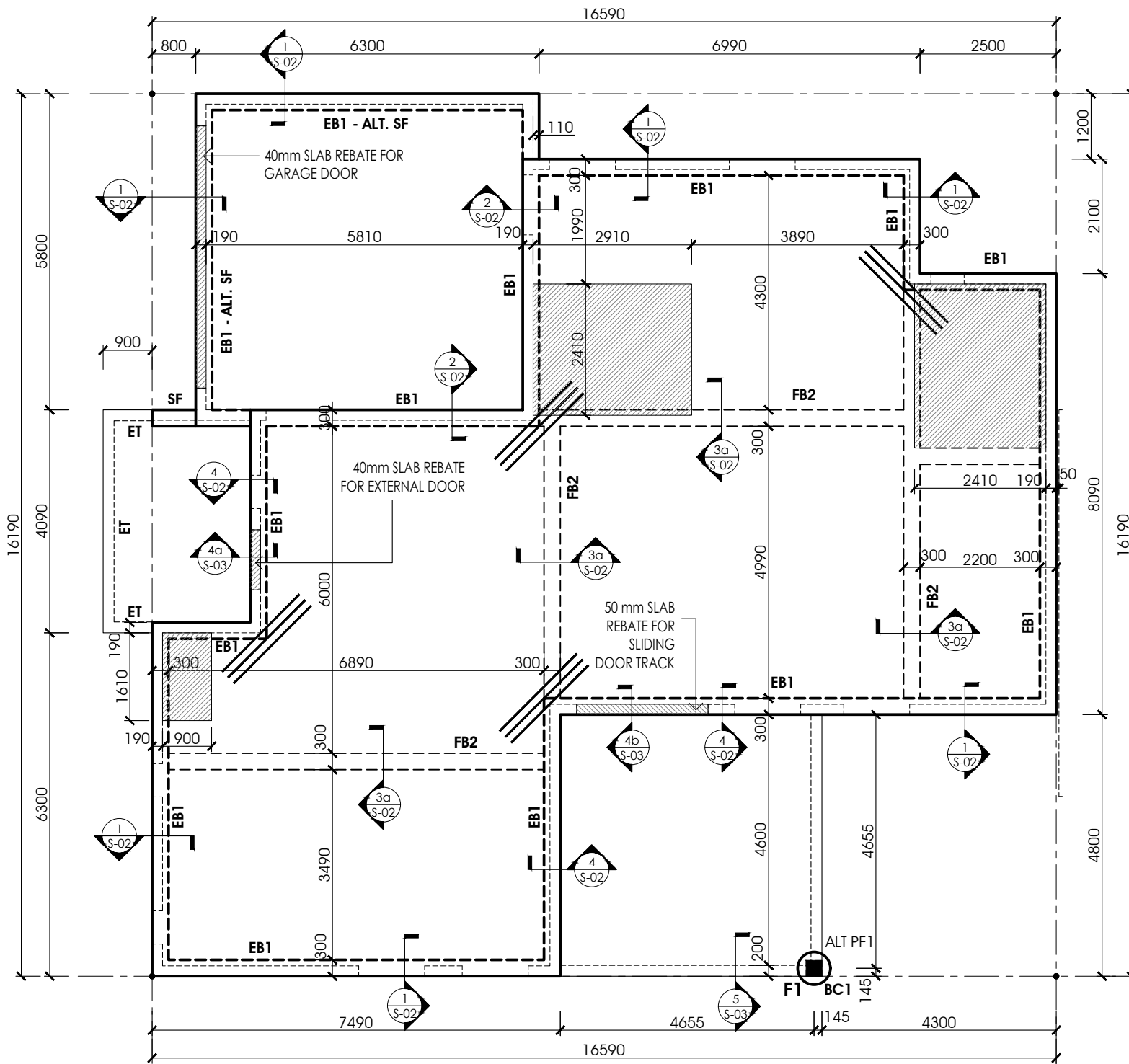
STEEL NOTES

1. Comply with AS 4100.
2. Ensure welding is performed by an experienced operator in accordance with AS 1554.
3. Use hot dipped galvanised commercial bolts (Grade 4.6/S) to AS 1111 and AS 1112, tightened to a snug tight fit unless otherwise shown. Where bolts are designated grade 8.8/S, use high strength bolts to AS 1252, tightened to a snug tight fit. Where bolts are designated 8.8/T or grade 8.8/TB use high strength steel bolts (grade 8.8/S) to AS 1252, fully tensioned in accordance with AS 1511.
4. During construction provide and leave in place, until permanent bracing elements are constructed, such temporary bracing as is necessary to stabilise the structure during erection.
5. Seal the ends of all tubular members with nominal thickness plates and continuous fillet welds unless otherwise shown.
6. Camber to be as noted on the drawings.
7. Except where otherwise shown fully weld connections with 6mm continuous fillet general purpose (G.P.) welds for the full contact area. Special purpose welds are designated (S.P.)
8. Unless otherwise specified, paint all external steelwork with one shop coat of Inorganic Zinc Silicate primer after blast cleaning to a Class 2.5 finish. Touch up damaged areas with cold galv after power cleaning. Members encased in concrete, fire sprayed or HSTF bolted connections must not be painted.
9. Unless otherwise specified paint all internal steelwork with one shop coat of Red Oxide Zinc Phosphate primer after blast cleaning to a Class 2 finish. Touch up damaged areas as required after power cleaning. Alternatively for RHS, use 'Duragal' and touch up with Dimet Zeden or equal and paint for long term protection to manufacturer's recommendations.
10. Unless otherwise specified paint steelwork below finished surface level and not concrete encased with high build epoxy.
11. Unless otherwise specified paint all steelwork one shop coat of Red Oxide Zinc Phosphate primer. Do not paint members encased in concrete, fire sprayed or friction grip bolted connections.
12. Protective coatings to all external steelwork to comply with BCA-96 Table 3.4.4.2.

SANITARY

1. The door to a fully enclosed sanitary compartment must either open outwards, slide or be removable from the outside, unless there is at least 1200mm clear space between the pedestal and the nearest part of the door.
2. The ORG is to comply with AS3500
3. All plumbing to be carried out by a licensed plumber
4. Certified plumber to provide accurate as constructed drawings at the completion of the job.

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			Drawing NO. & (Revision)	1689-TELE-S00 (Rev.02)	



FOOTING PLAN - UNIT 1
SCALE 1:100

Found all footings in original undisturbed ground having a safe bearing capacity of 150 kPa as noted on drawings. Before any concrete be placed , ensure the safe bearing is verified.

Backfill sewers, stormwater drains and other in-ground services adjacent to building, if laid before footings are constructed, with approved fill placed in 200mm max layers and compact to 95% MMDD.

If laid after footings are constructed, avoid undermining of footing by either fully shoring trenches, or keeping excavation outside an influence line extending downwards at a slope of 1 in 1.5 from the bottom corner of all footings. Backfill trenches as noted above.

Use selected fill (gravel, decomposed or broken rock) free from clay lumps or organic matters, conforming with the following grading requirements:

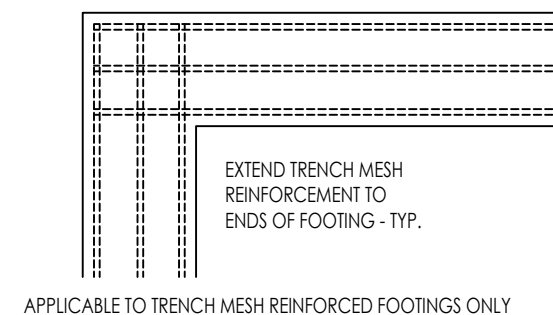
AS METRIC SIEVE	% PASSING BY WEIGHT	AS METRIC SIEVE	% PASSING BY WEIGHT
75.0 mm	100	2.36 mm	20 - 50
9.5 mm	30 - 100	0.075 mm	5 - 25

Strips the area of the works of all top soil and deleterious material prior to placement of fill or compaction. Compact fill up to 150mm below slab level in 150mm layers to 95% MMDD.

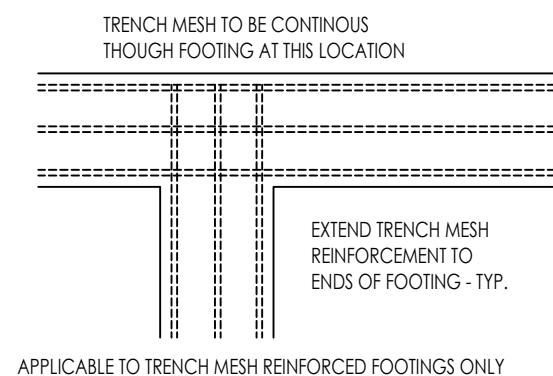
Compact fill in the 150mm layers immediately below slab level to 95% MMDD. Compact sand blinding layer below concrete slab by vibration plate or flooding to 95% MMDD.

Backfill over excavation with lean mix concrete.

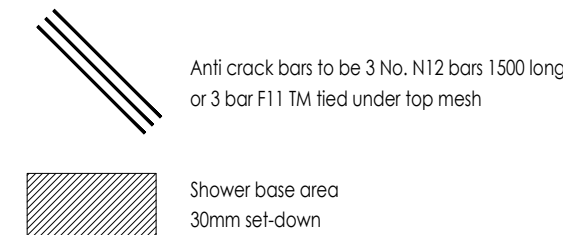
Builder to confirm site classification "S" to AS2870.



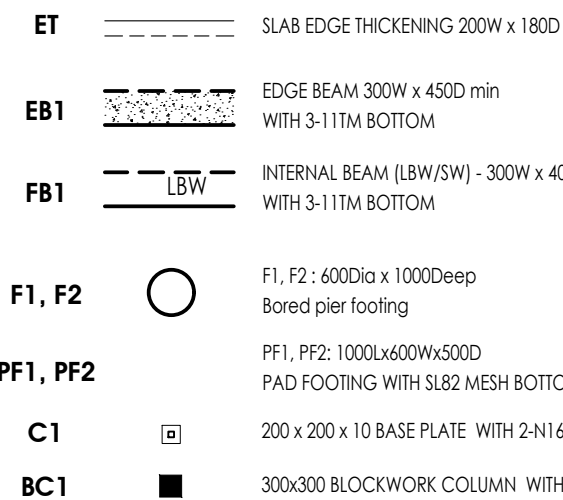
FOOTING DETAIL AT CORNER
SCALE 1:20

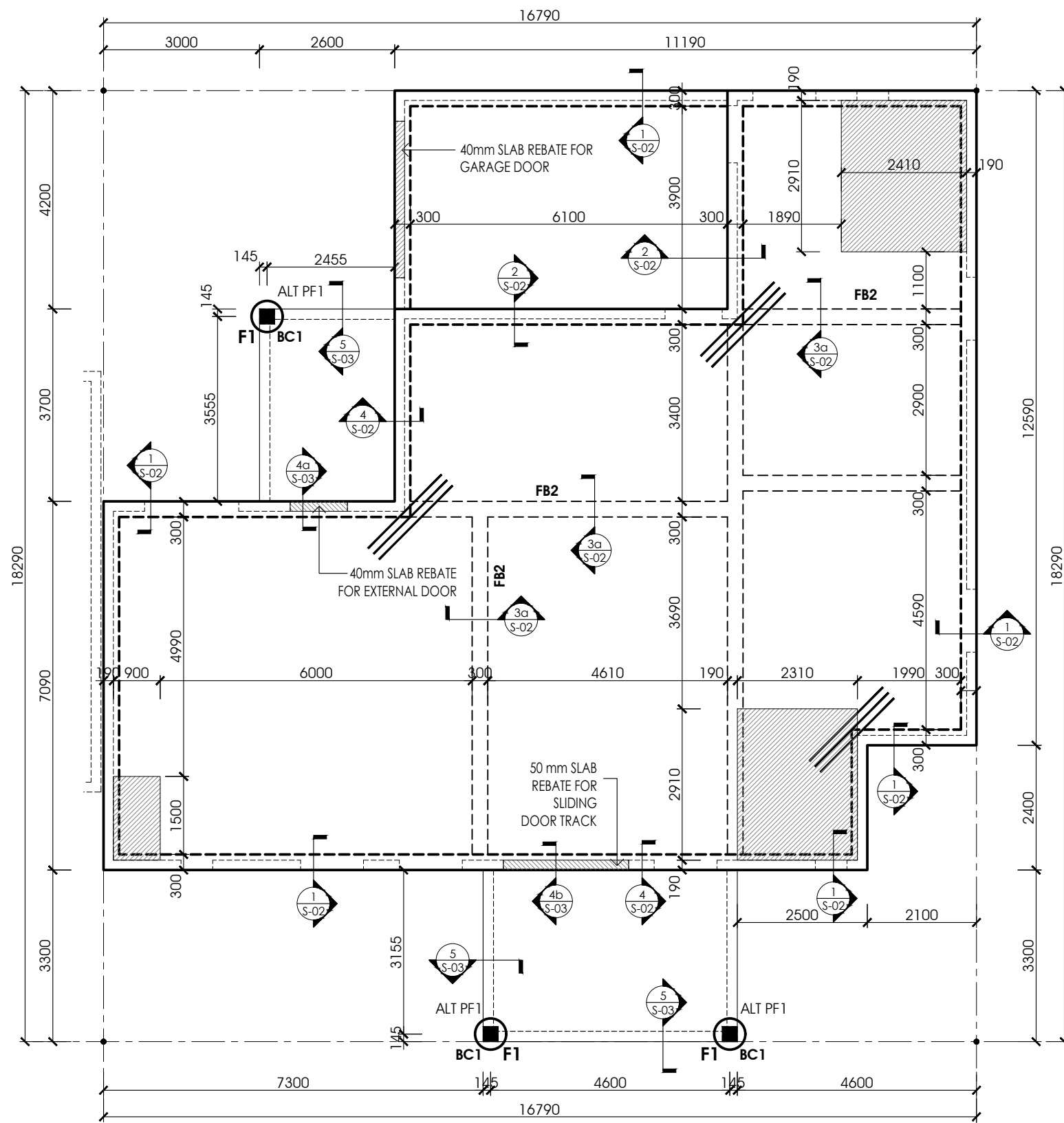


FOOTING DETAIL AT CORNER
SCALE 1:20



SLAB TO BE 100MM THK. CONCRETE GRADE 25MPa 40 TOP COVER WITH DPM AND 50MM SAND BED-SL82 REINFORCED MESH





FOOTING PLAN - UNIT 1
SCALE 1:100

Found all footings in original undisturbed ground having a safe bearing capacity of 150 kPa as noted on drawings. Before any concrete be placed , ensure the safe bearing is verified.

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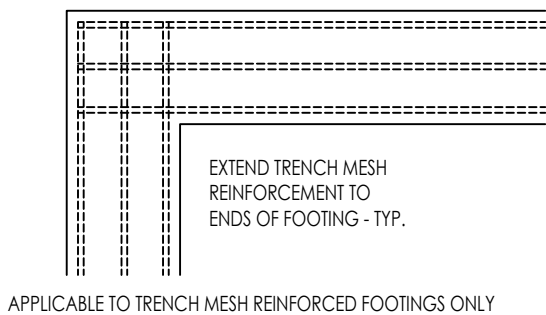
AS METRIC SIEVE	% PASSING BY WEIGHT	AS METRIC SIEVE	% PASSING BY WEIGHT
75.0 mm	100	2.36 mm	20 - 50
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Strips the area of the works of all top soil and deleterious material prior to placement of fill or compaction. Compact fill up to 150mm below slab level in 150mm layers to 95% MMDD.

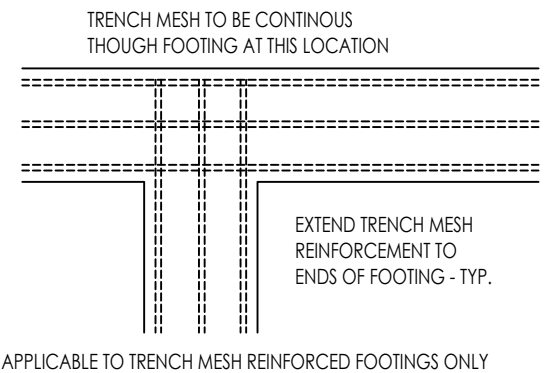
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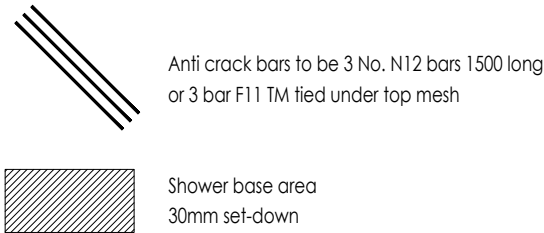
Builder to confirm site classification "S" to AS2870.



FOOTING DETAIL AT CORNER
SCALE 1:20



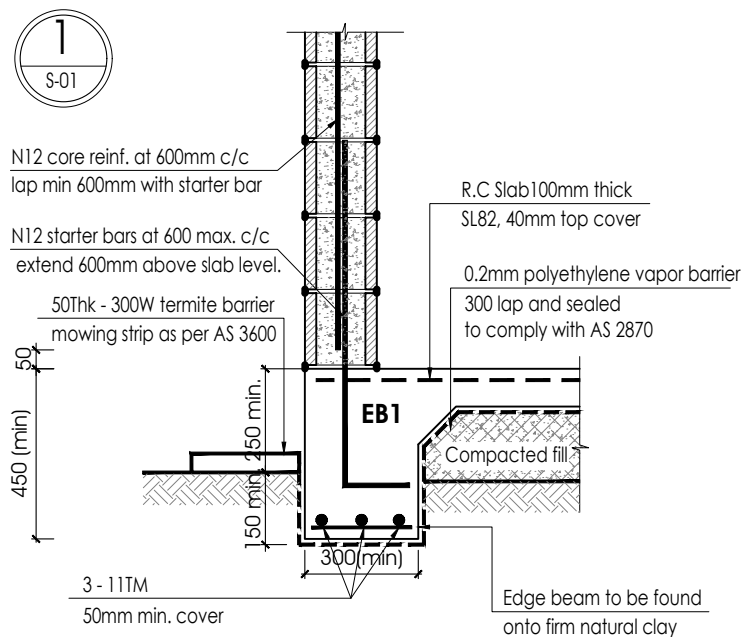
FOOTING DETAIL AT CORNER
SCALE 1:20



SLAB TO BE 100MM THK. CONCRETE GRADE 25MPa 40 TOP COVER WITH DPM AND 50MM SAND BED-SL82 REINFORCED MESH

- ET SLAB EDGE THICKENING 200W x 180D
- EB1 EDGE BEAM 300W x 450D min WITH 3-11TM BOTTOM
- FB1 INTERNAL BEAM (LBW/SW) - 300W x 400D WITH 3-11TM BOTTOM
- F1, F2 F1, F2 : 600Dia x 1000Deep Bored pier footing
- PF1, PF2 PF1, PF2: 1000Lx600Wx500D PAD FOOTING WITH SL82 MESH BOTTOM
- C1 200 x 200 x 10 BASE PLATE WITH 2-N16
- BC1 300x300 BLOCKWORK COLUMN WITH 2-N16

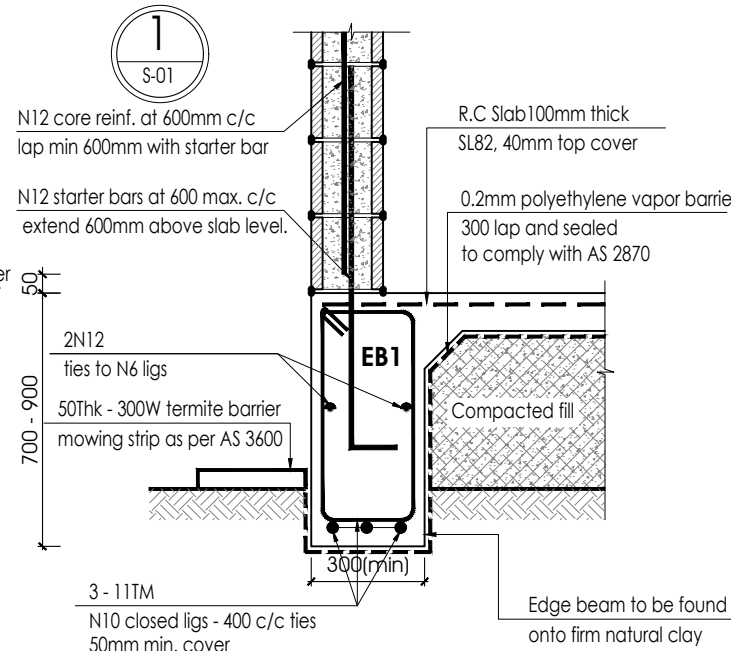




EDGE BEAM DETAIL

EB1 (<600mm)

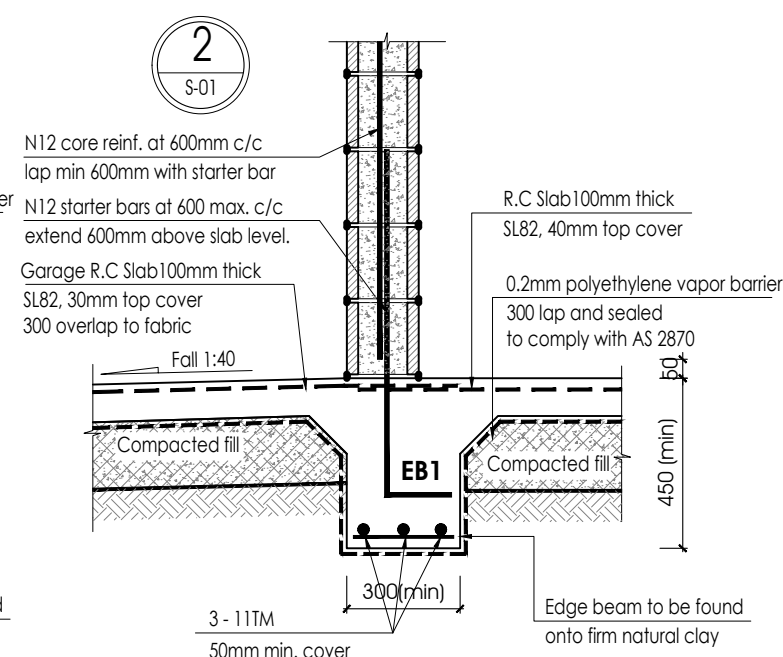
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EDGE BEAM DETAIL

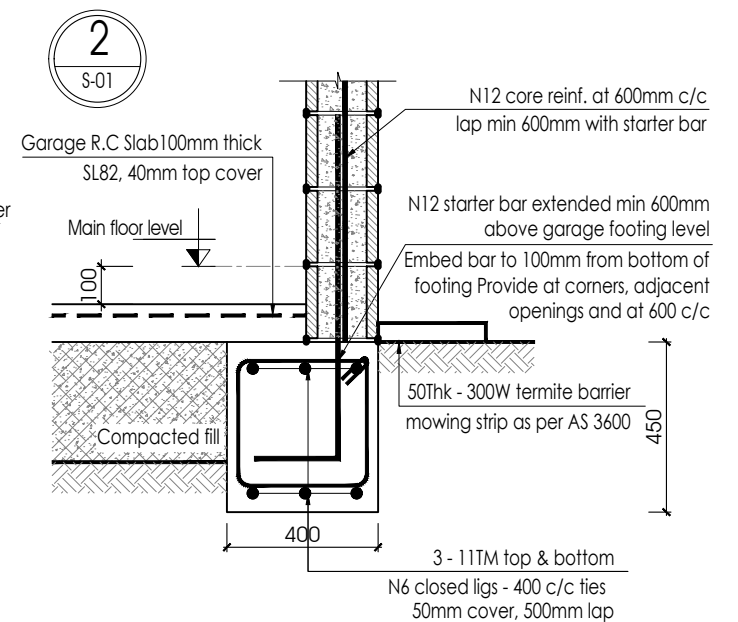
EB1 (600-900mm)

SCALE 1:20



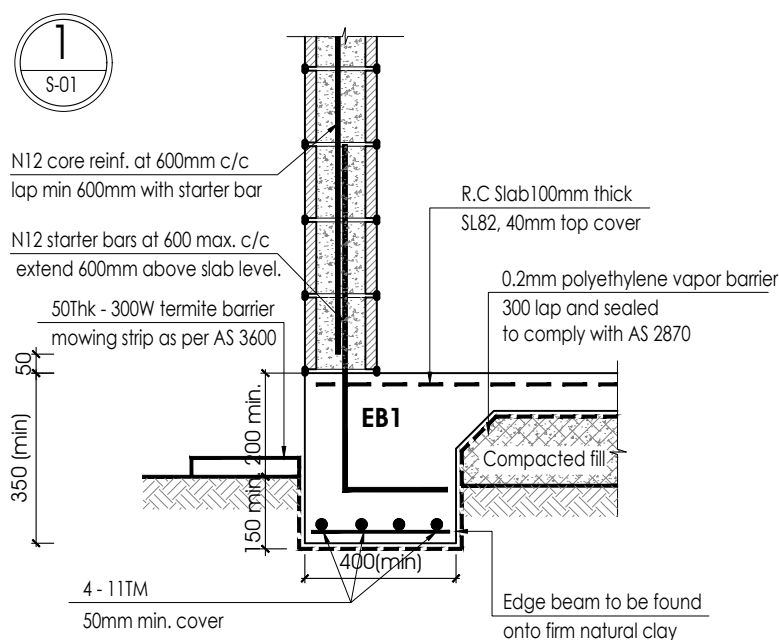
EDGE BEAM AT GARAGE

SCALE 1:20



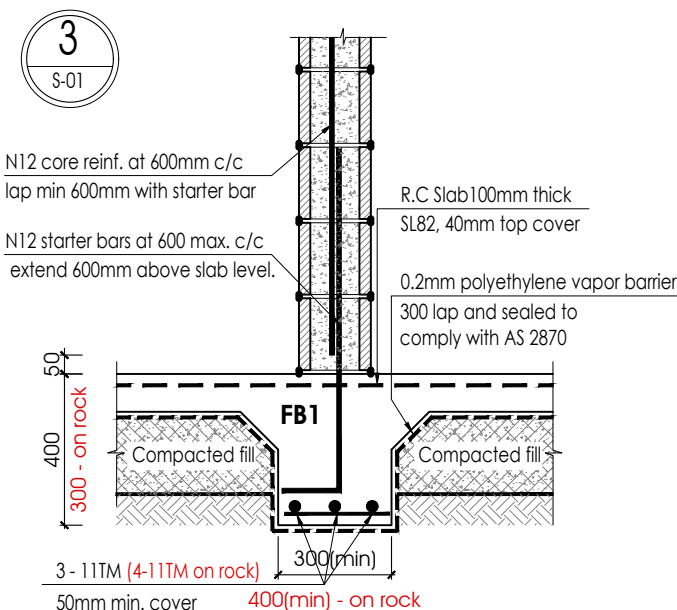
ALT. SF-STRIP FOOTING

SCALE 1:20



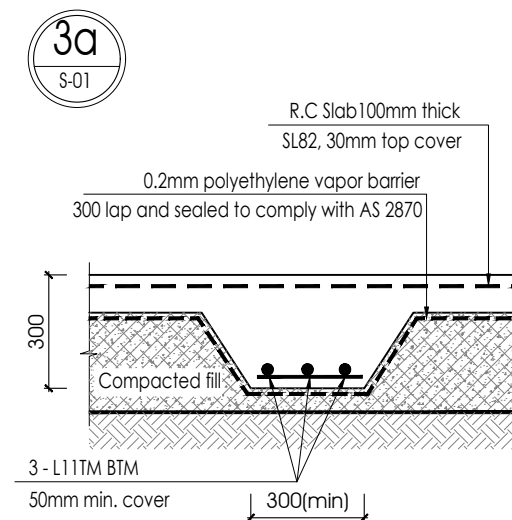
ALT. EDGE BEAM ON ROCK BASE - EB1

SCALE 1:20



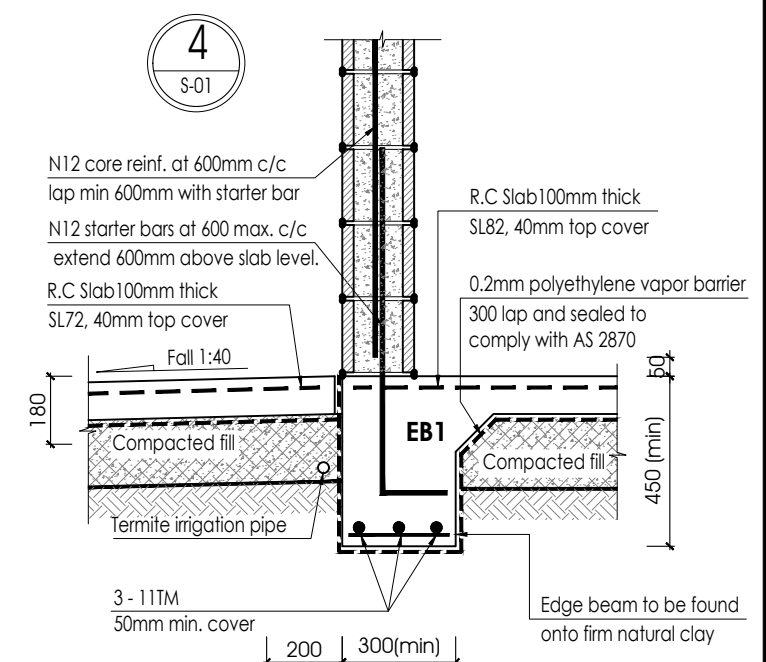
INTERNAL BEAM - LBW/SW DETAIL- FB1

SCALE 1:20




INTERNAL BEAM DETAIL- FB2

SCALE 1:20

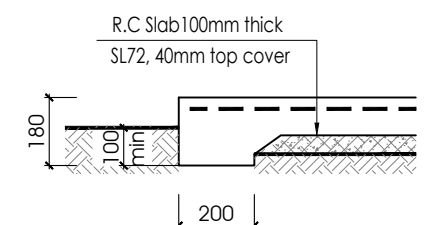
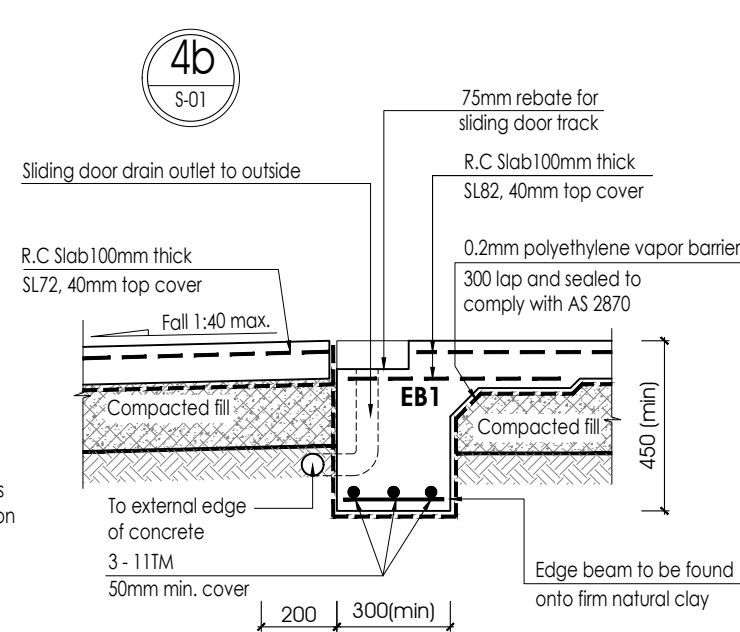
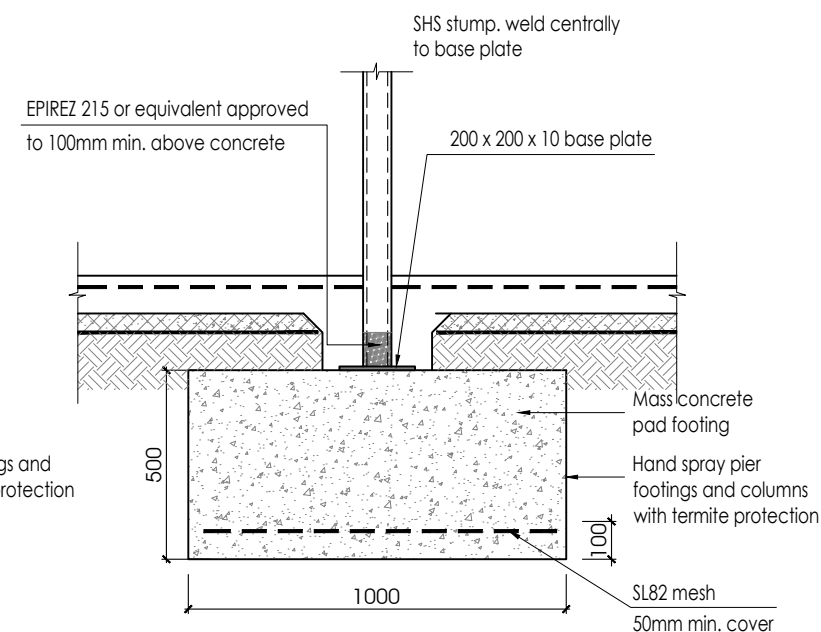
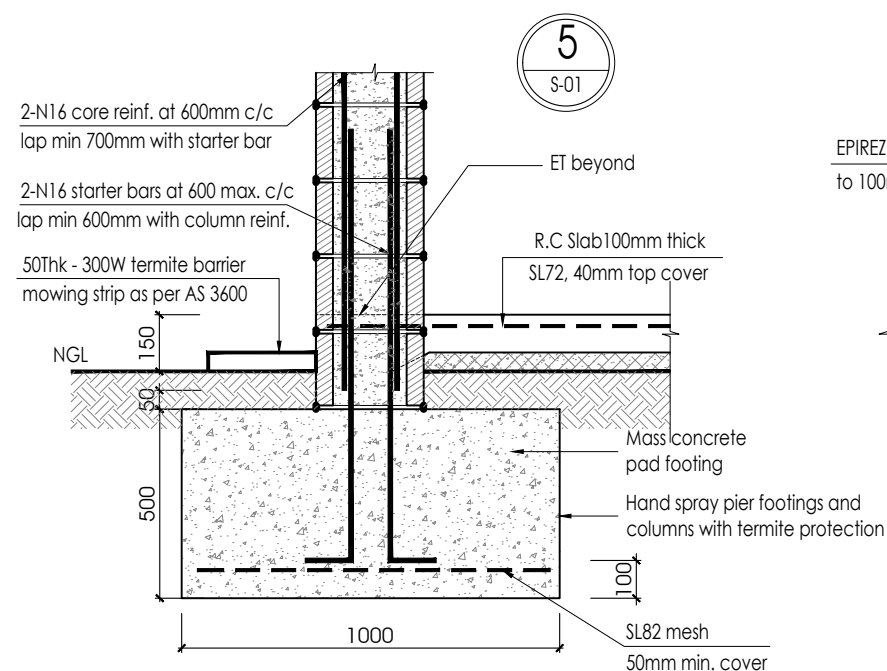
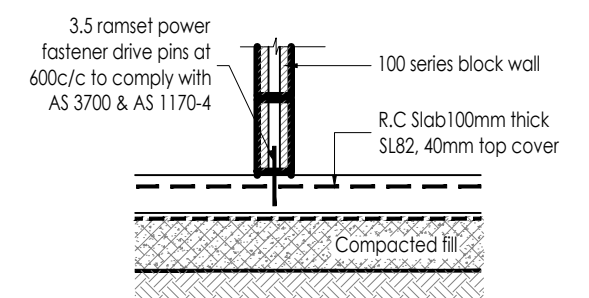
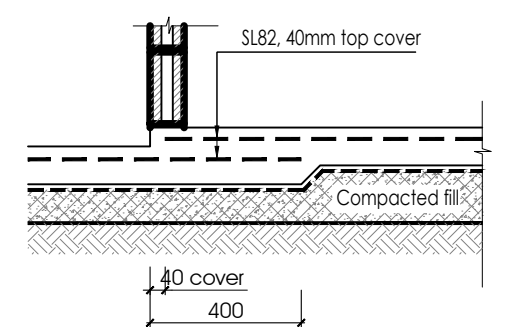
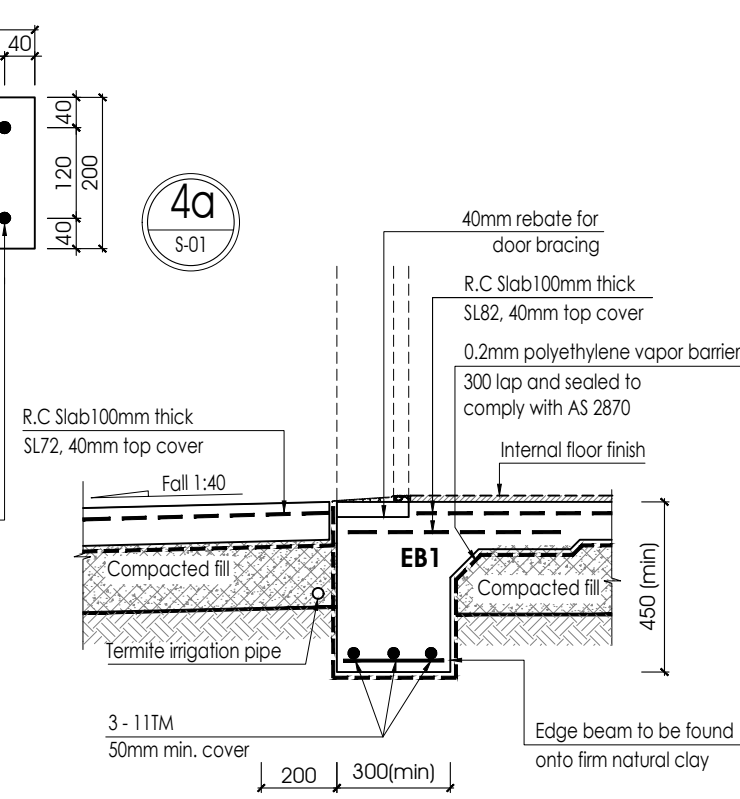
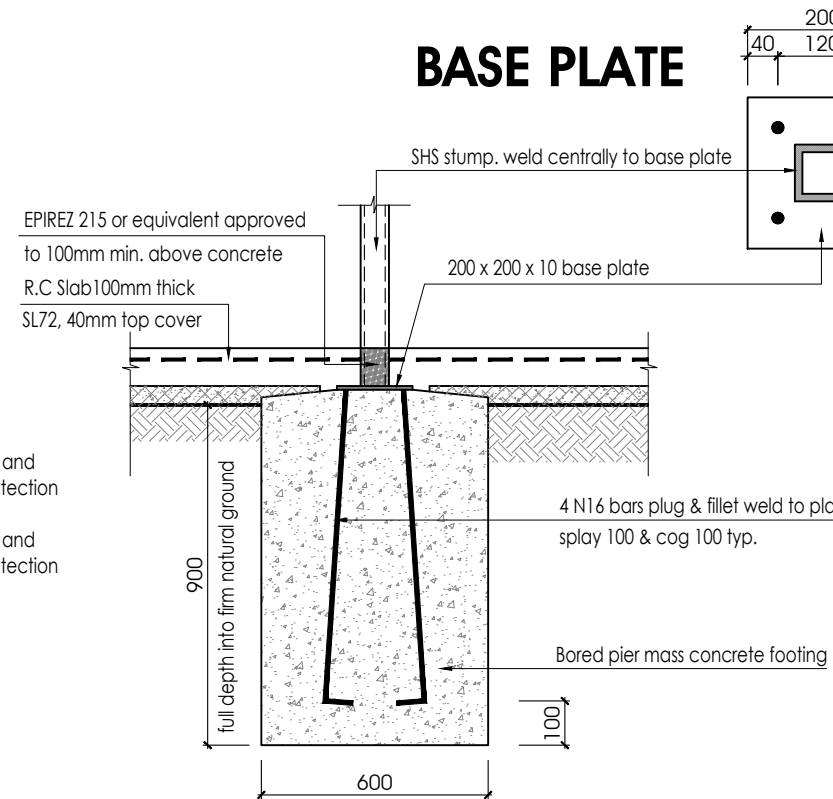
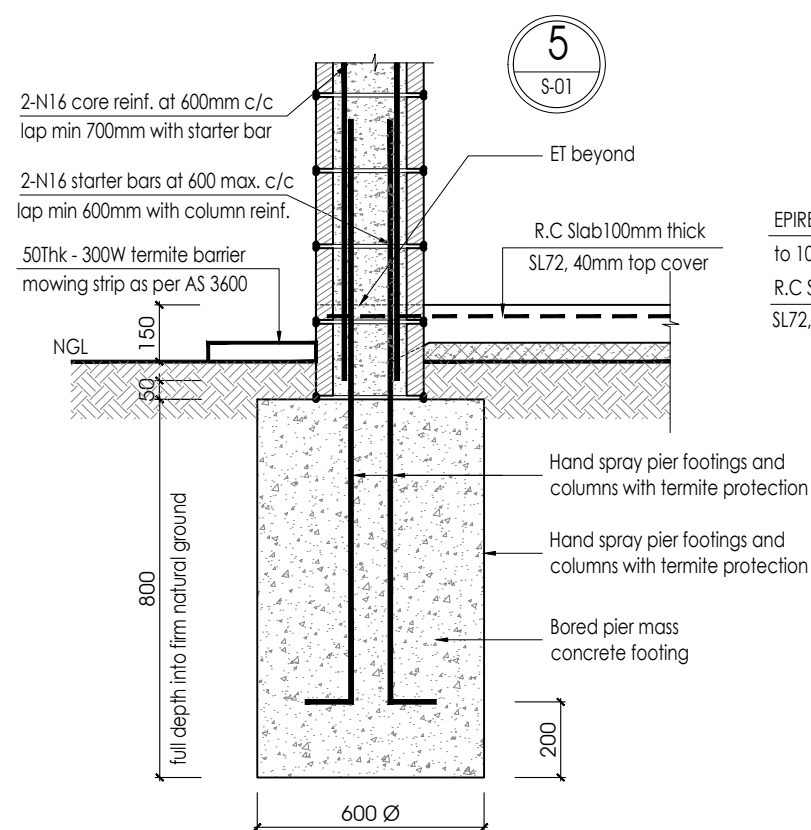


EDGE BEAM AT VERANDAH

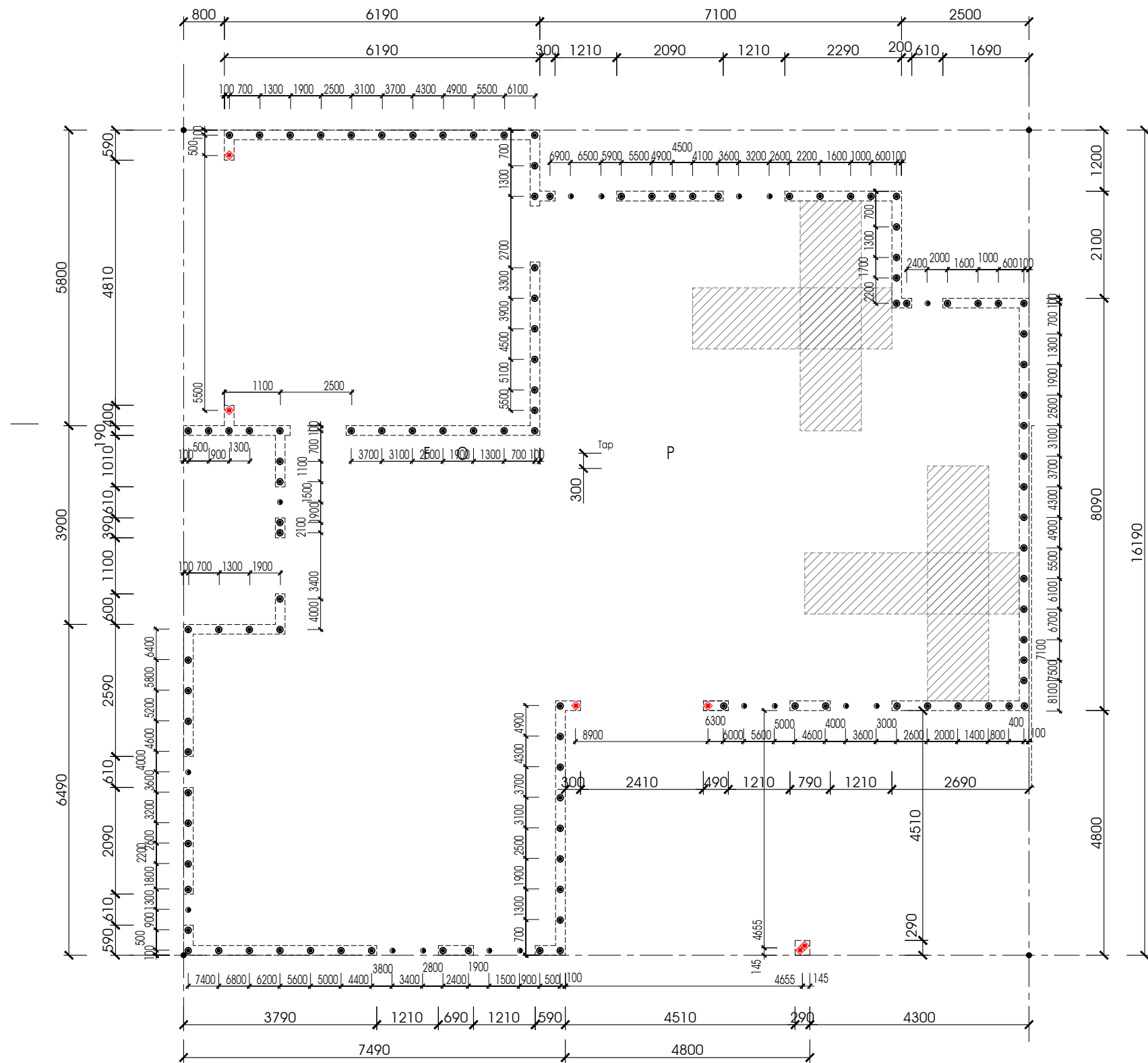
SCALE 1:20

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99056
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	Job NO.	1689-TELE	
			Drawing NO. & (Revision)	1689-TELE-S02 (Rev.02)	

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PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99056
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	..	Job NO.	1689-TELE	 Builders Who Return Your Call Those who never change their minds never change anything
		..	Drawing NO. & (Revision)	1689-TELE-S03 (Rev.02)	

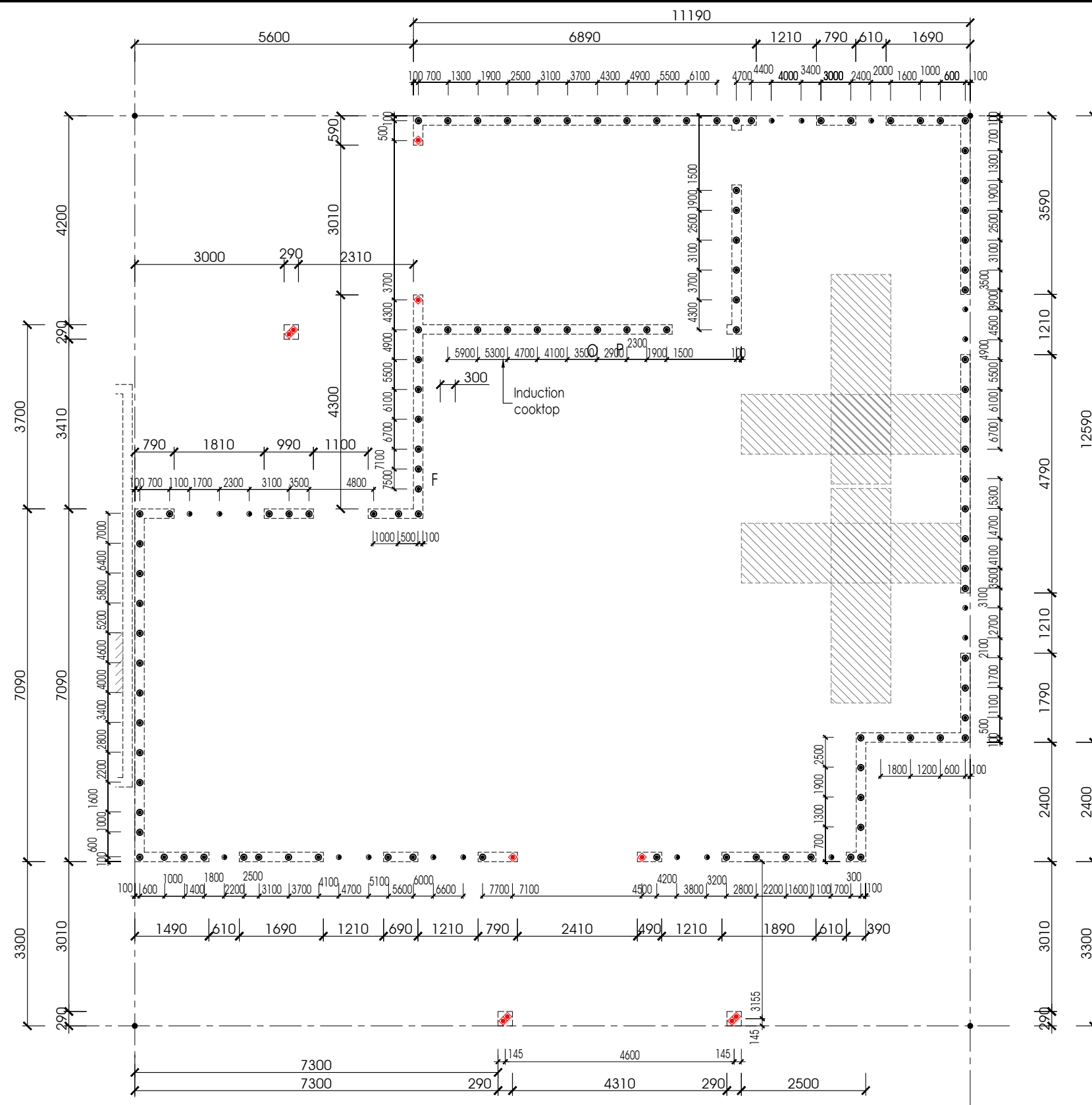


STATER BARS & BLOCK SETOUT PLAN
UNIT 1

SCALE 1:100


- ◆ N16 stater bar for full wall height reinforced bar
- N12 stater bar for full wall height reinforced bar
- N12 stater bar for under window reinforced bar

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	<div>Habitat (NT) Pty Ltd</div> <div>5/65 STUART HWY-STUART PARK - NT 0820</div> <div>PO Box 12, Nightcliff NT 0814 www.habitatnt.com</div> <div>Ph: (08) 8947 3800 Fax: (08) 8947 3800</div> <div>ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99056</div> <div>Builders Who Return Your Call</div> <div>Those who never change their minds never change anything</div> <div></div>
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	..	Job NO.	1689-TELE	
			Drawing NO.	1689-TELE-S04a	
			& (Revision)	(Rev.02)	



STATER BARS & BLOCK SETOUT PLAN
UNIT 1
SCALE 1:100

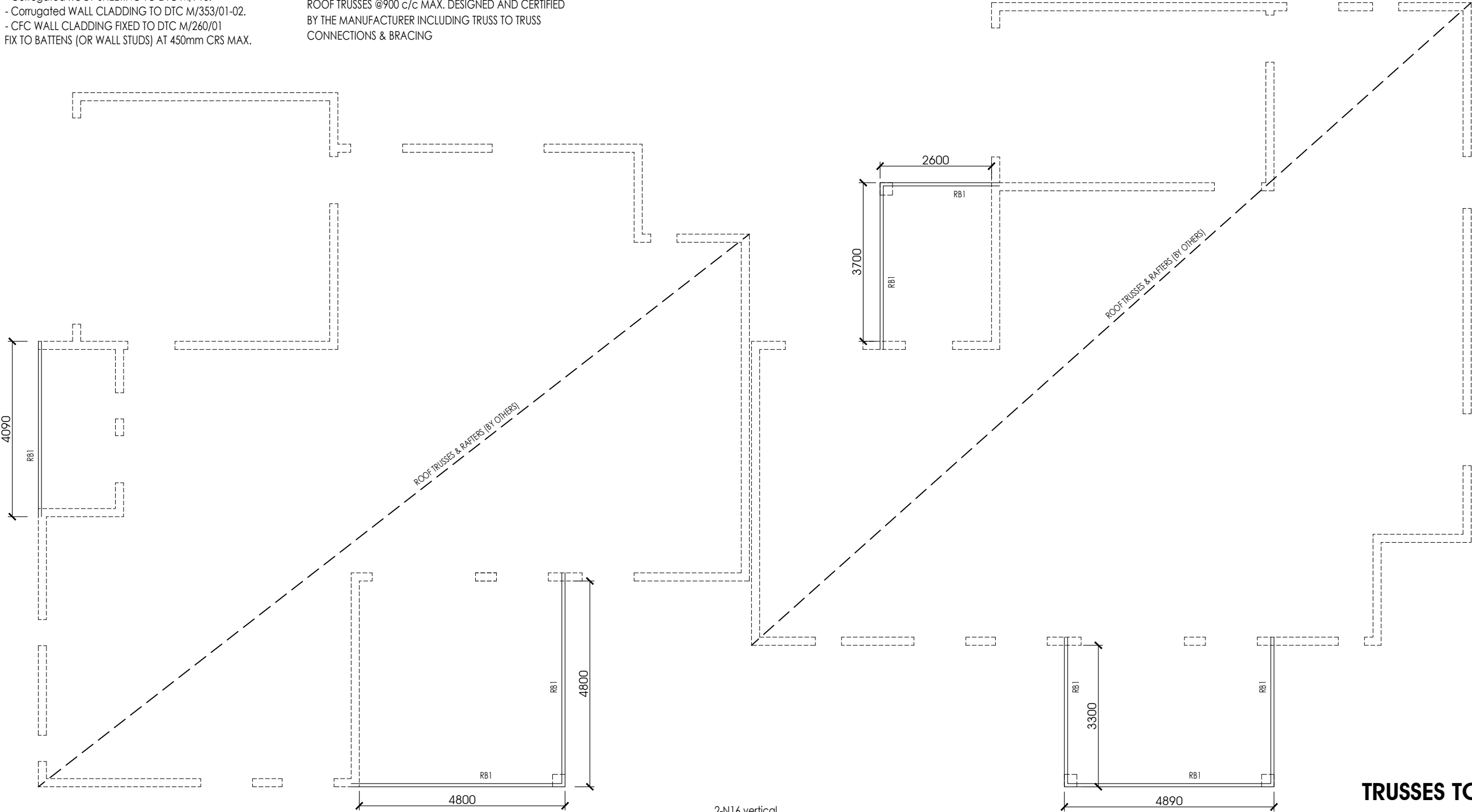
- ◆ N16 stater bar for full wall height reinforced bar
- N12 stater bar for full wall height reinforced bar
- N12 stater bar for under window reinforced bar

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	<div>Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99056</div> <div>Builders Who Return Your Call Those who never change their minds never change anything</div> <div></div>
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	Job NO.	1689-TELE	
			Drawing NO.	1689-TELE-S04b	
			& (Revision)	(Rev.02)	

NOTES

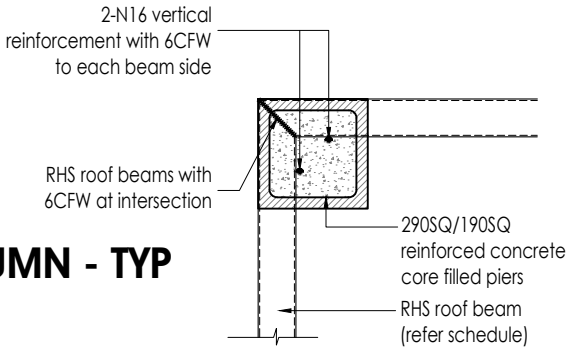
WALL AND ROOF CLADDING FIXING REF.:
- Corrugated ROOF SHEETING TO DTC M/713.
- Corrugated WALL CLADDING TO DTC M/353/01-02.
- CFC WALL CLADDING FIXED TO DTC M/260/01
FIX TO BATTENS (OR WALL STUDS) AT 450mm CRS MAX.

ROOF TRUSSES
ROOF TRUSSES @900 c/c MAX. DESIGNED AND CERTIFIED
BY THE MANUFACTURER INCLUDING TRUSS TO TRUSS
CONNECTIONS & BRACING

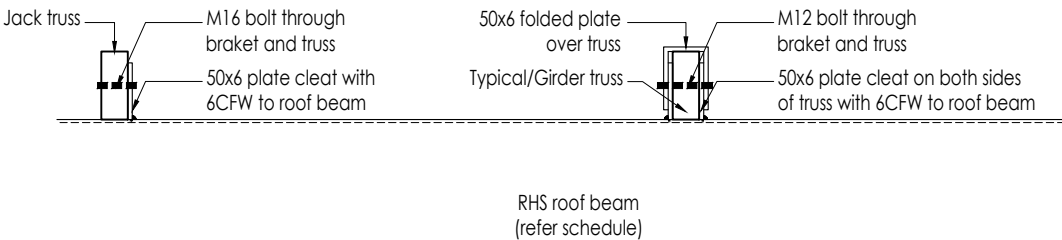


ROOF FRAMING PLAN
SCALE 1:100

RB1 : 125x75x4.0 RHS - ROOF BEAM



ROOF BEAM TO COLUMN - TYP
SCALE - 1:20



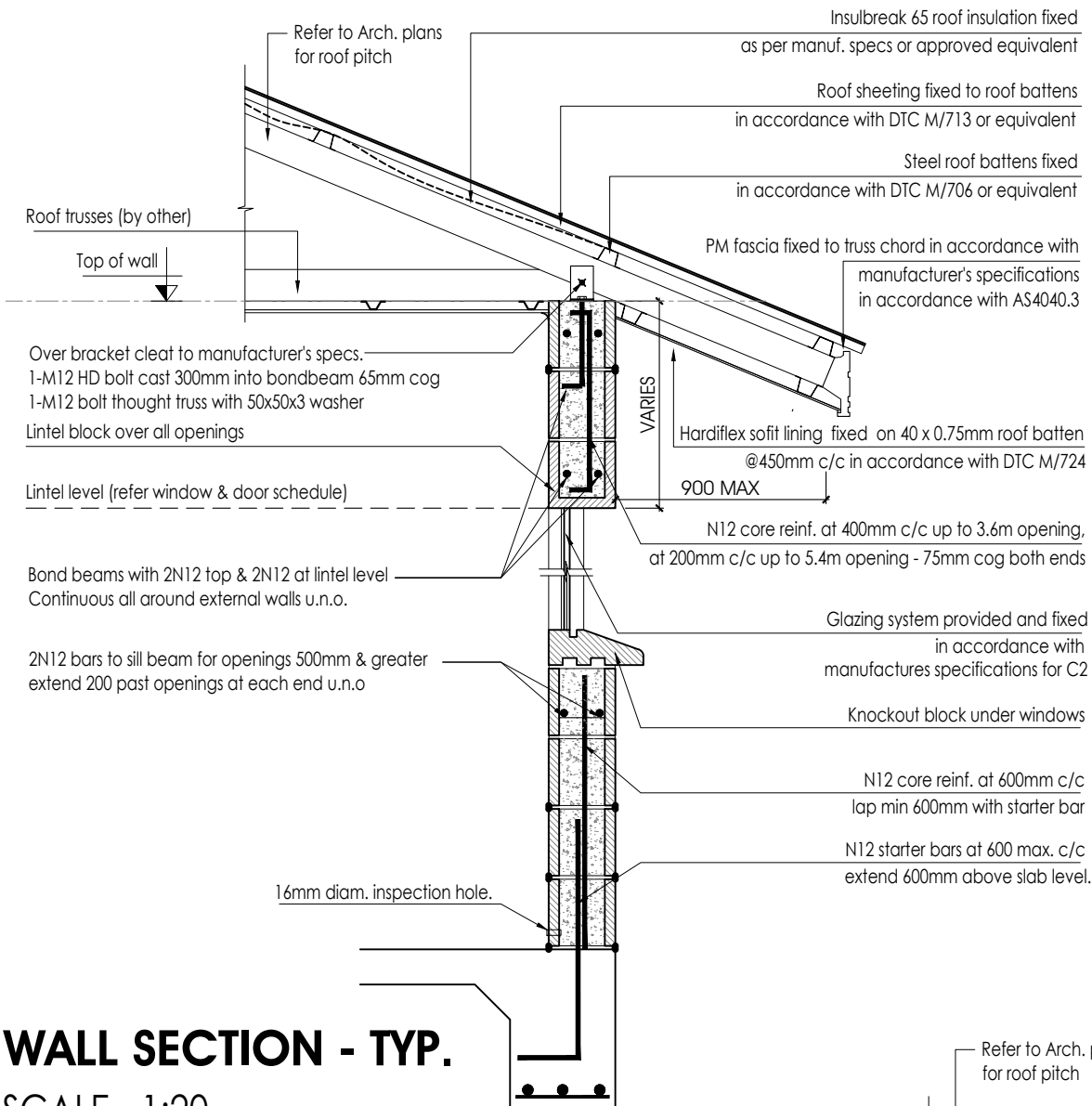
TRUSSES TO ROOF BEAM - TYP
SCALE - 1:20

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99056
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	Job NO.	1689-TELE	Builders Who Return Your Call Those who never change their minds never change anything
			Drawing NO. & (Revision)	1689-TELE-S05 (Rev.02)	

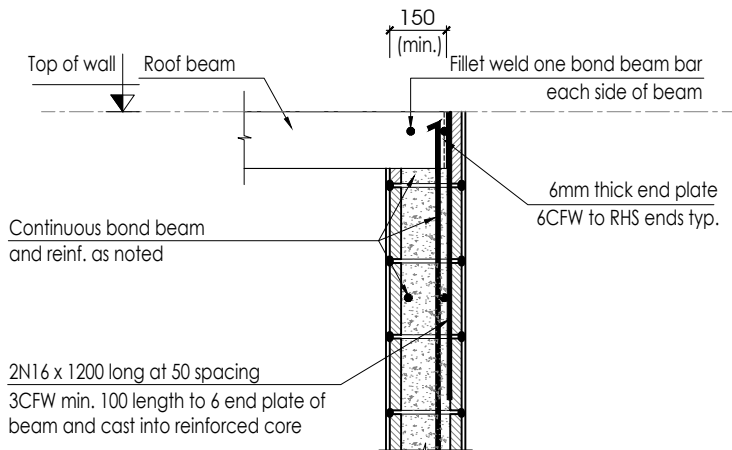


ROOF TRUSSES

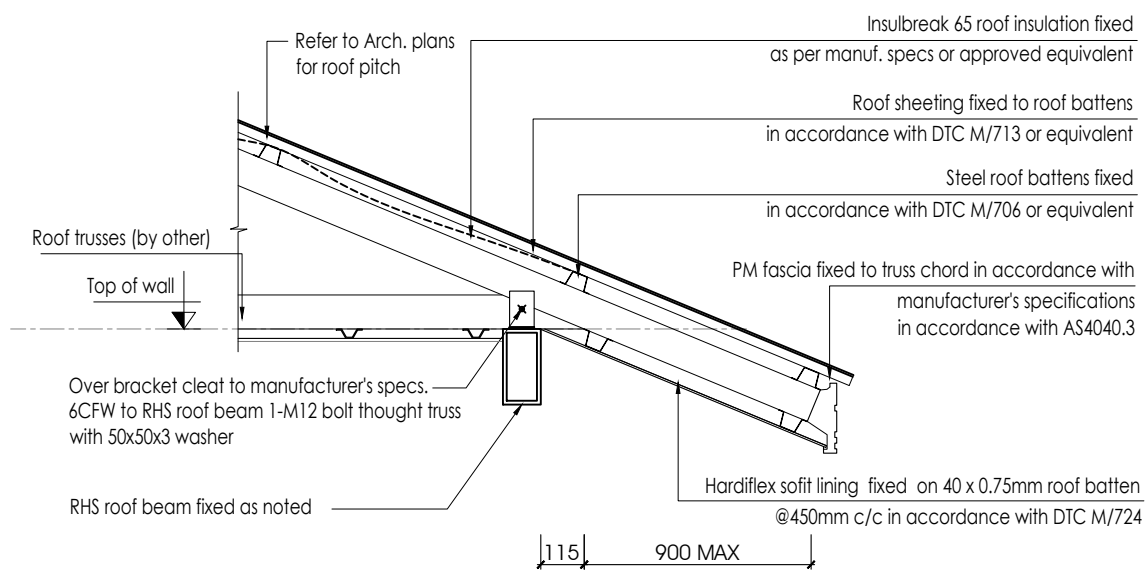
ROOF TRUSSES @900 c/c MAX. DESIGNED AND CERTIFIED
BY THE MANUFACTURER INCLUDING TRUSS TO TRUSS
CONNECTIONS & BRACING



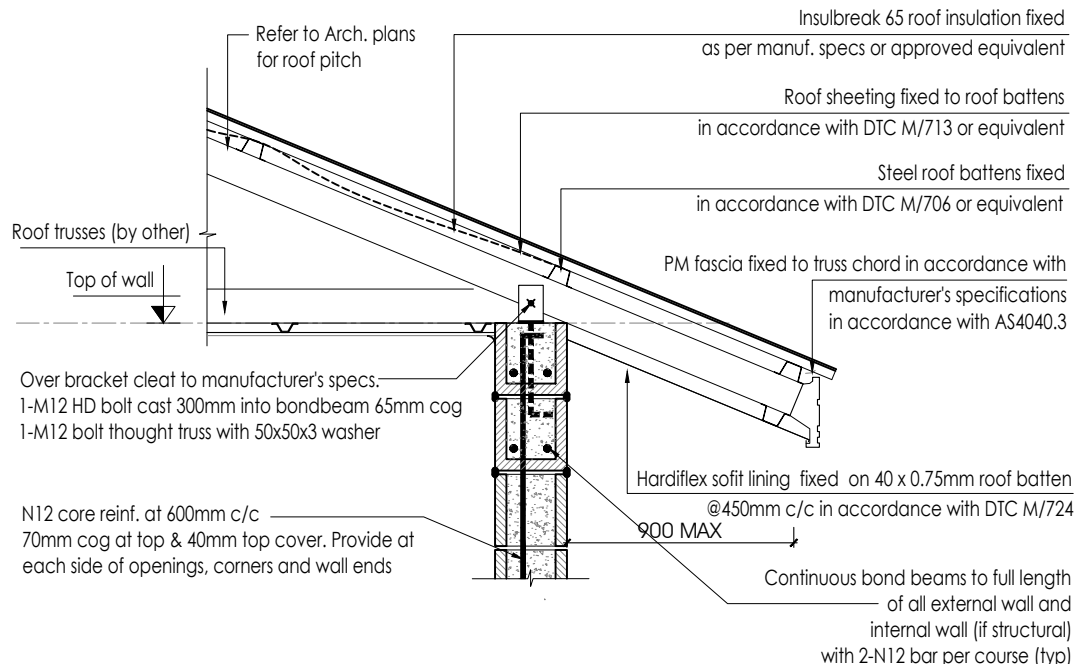
WALL SECTION - TYP.
SCALE - 1:20



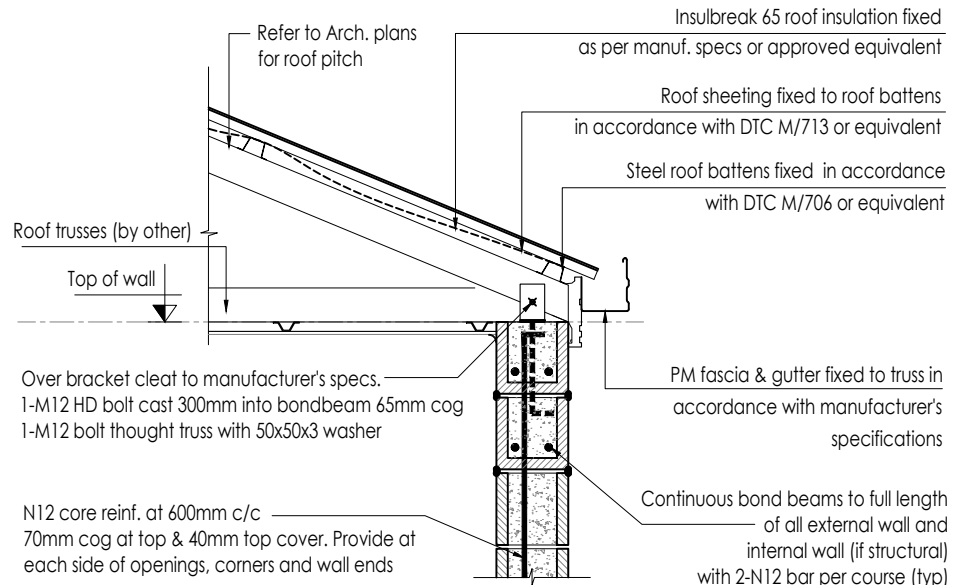
ROOF BEAM TO WALL - TYP.
SCALE - 1:20




ROOF TO ROOF BEAM - TYP.
SCALE - 1:20



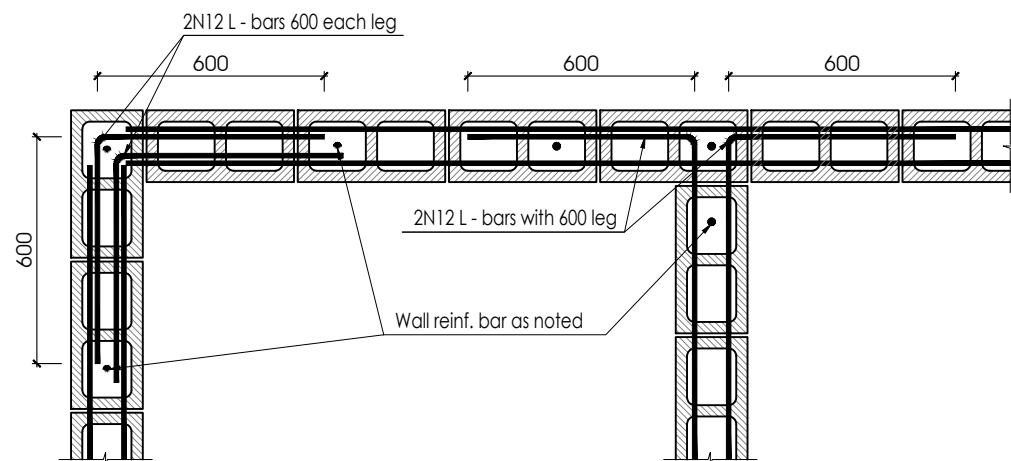
ROOF TO EXTERNAL WALL - TYP.
SCALE - 1:20



ROOF TO BOUNDARY WALL - TYP.
SCALE - 1:20

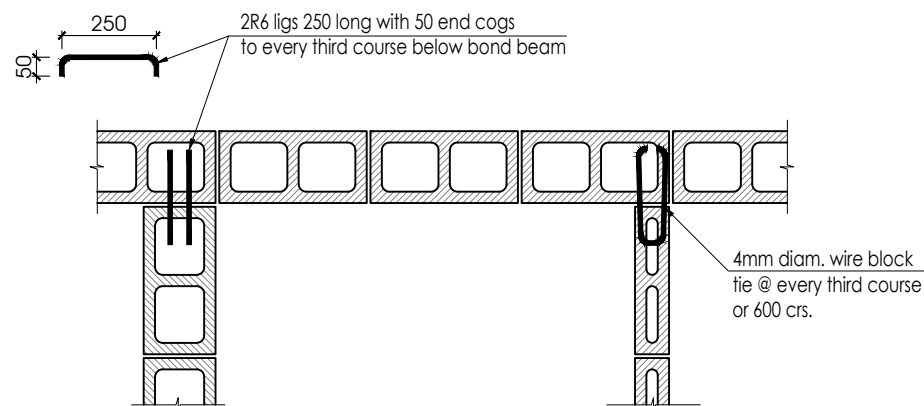
PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99058
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	Job NO.	1689-TELE	
			Drawing NO. & (Revision)	1689-TELE-S06 (Rev.01)	

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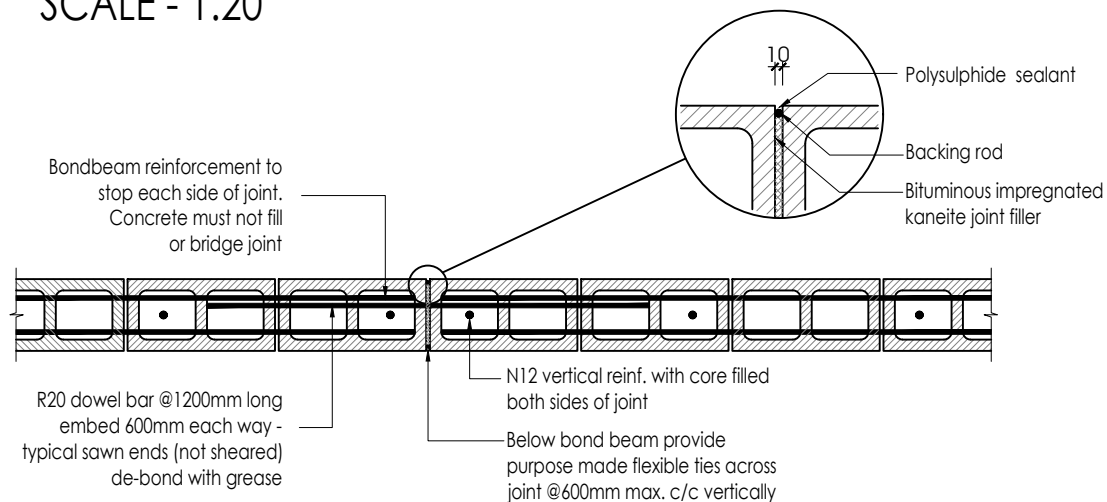
BOND BEAM INTERSECTION & CORNER

SCALE - 1:20



TYPICAL UN-BONDED INTERSECTION

SCALE - 1:20

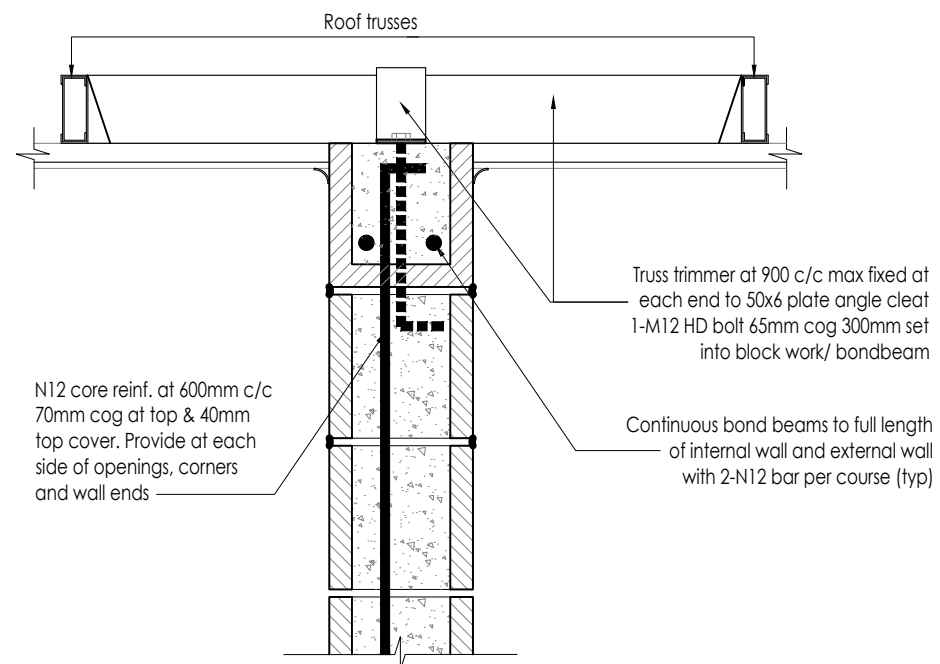
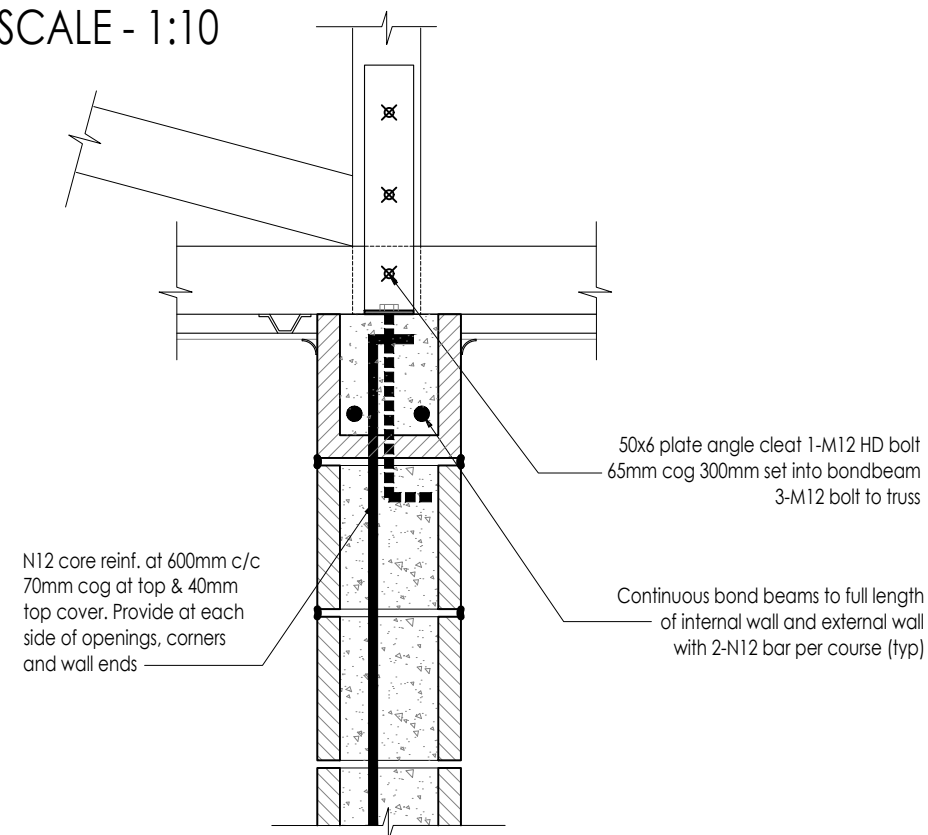


BLOCKWALL CONTROL JOINT

SCALE - 1:20

TRUSS TO LOAD BEARING WALL

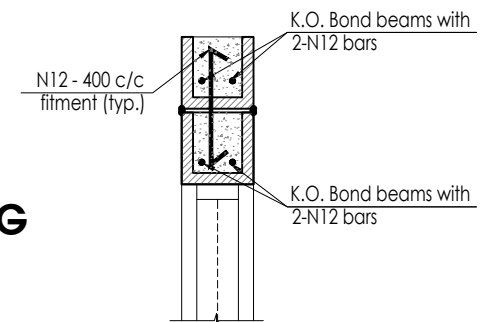
SCALE - 1:10



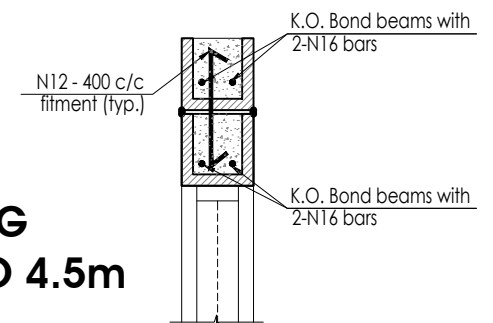
TRIMMER TO SHEAR WALL

SCALE - 1:10

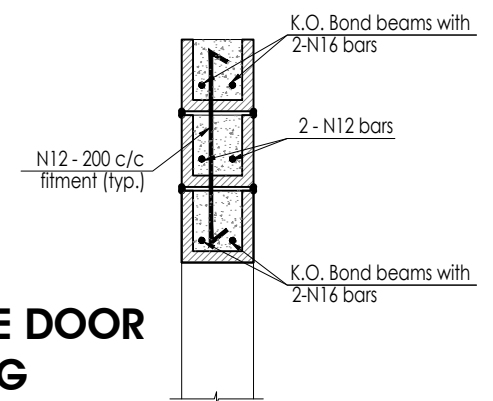
OPENING
< 3.5m



OPENING
3.5m TO 4.5m



GARAGE DOOR
OPENING



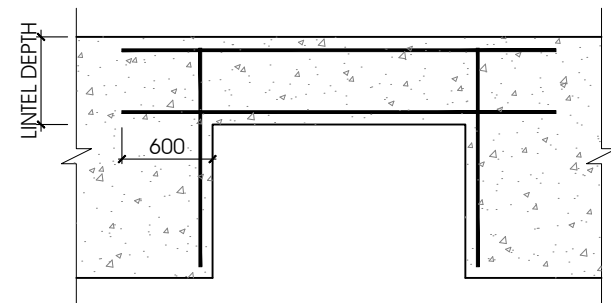
LINTEL DETAIL - TYP

SCALE - 1:20

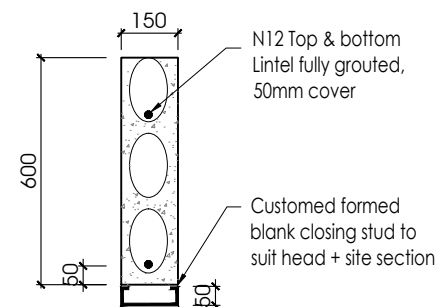
ROOF TRUSSES
ROOF TRUSSES @900 c/c MAX. DESIGNED AND CERTIFIED
BY THE MANUFACTURER INCLUDING TRUSS TO TRUSS
CONNECTIONS & BRACING

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99058
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	..	Job NO.	1689-TELE	
		..	Drawing NO. & (Revision)	1689-TELE-S07 (Rev.01)	

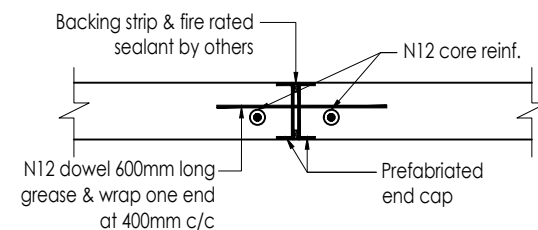
Builders Who Return Your Call
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TYPICAL LINTEL ELEVATION
SCALE NTS

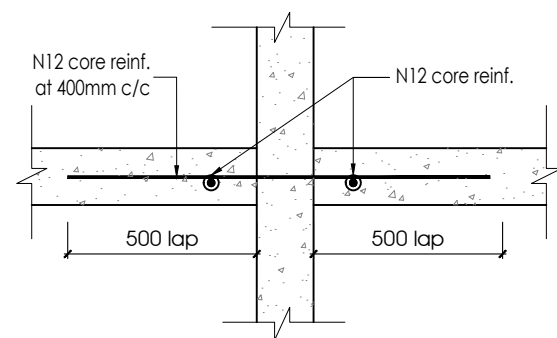


LOGIC LINTEL TYP.
SCALE 1:20

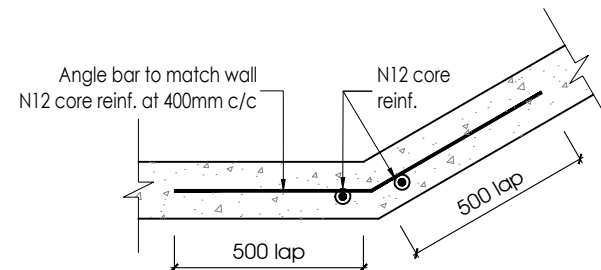


MOVEMENT JOINT
SCALE 1:20

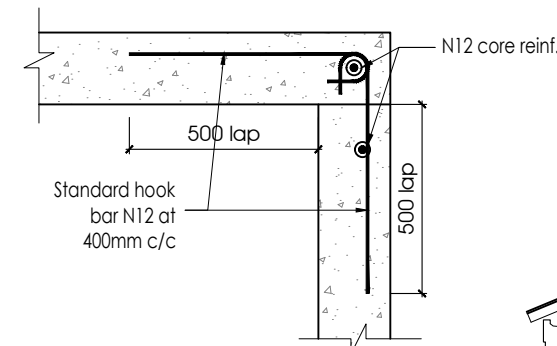
Applied only to wall length over 16m



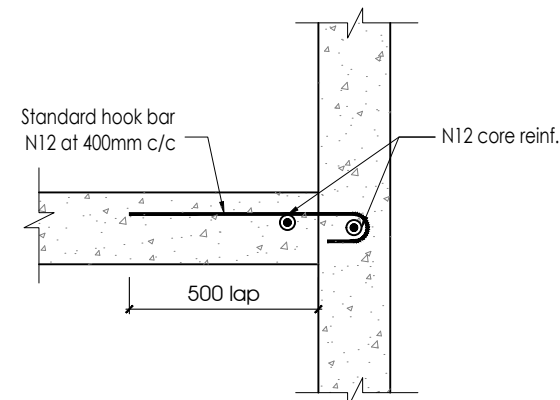
CROSS JUNCTION
SCALE 1:20



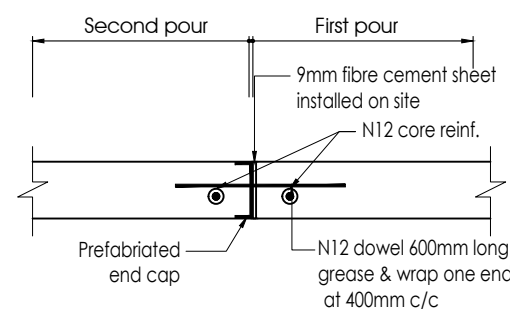
ANGLE JUNCTION TYP.
SCALE 1:20



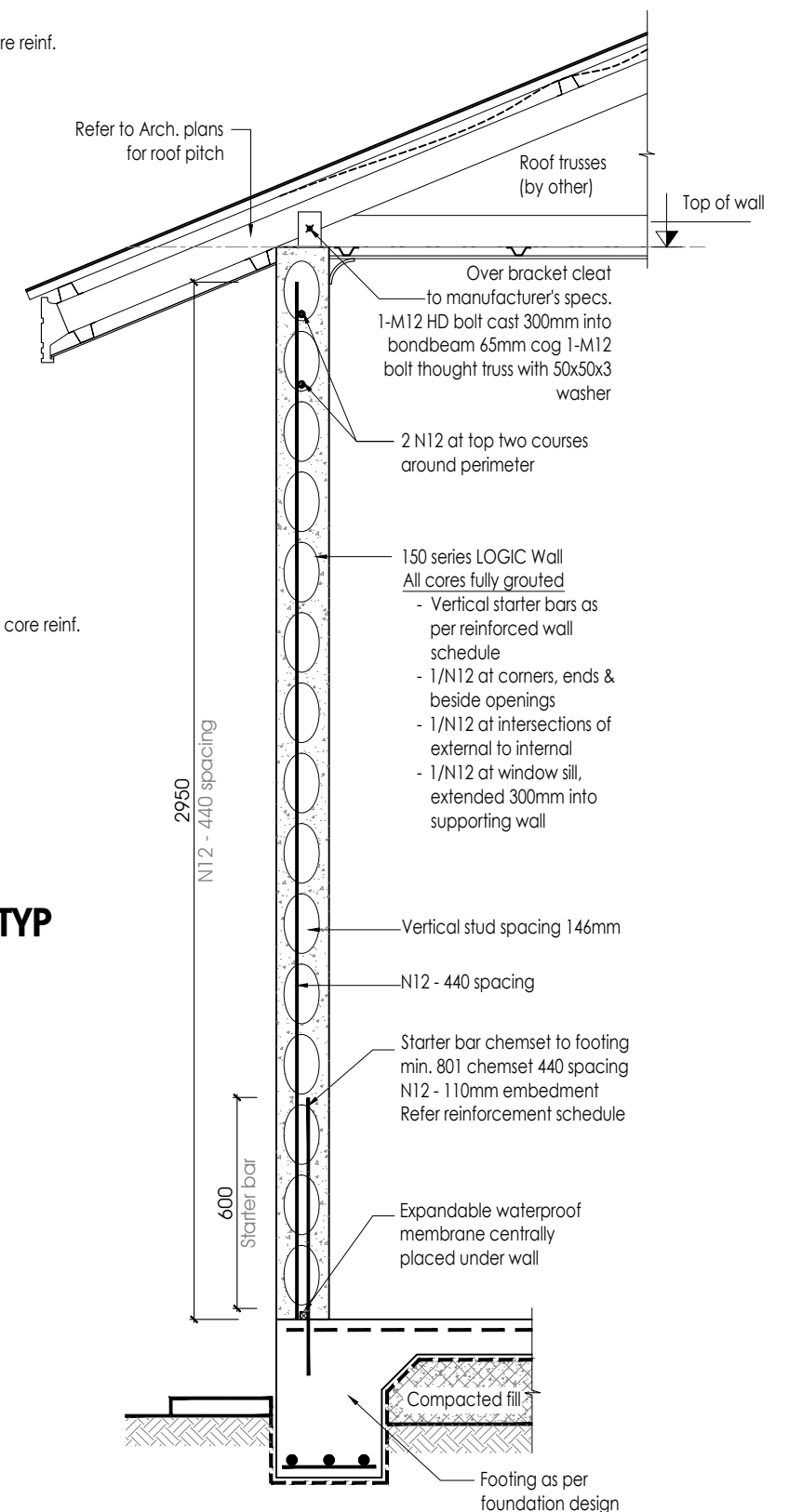
OPEN CORNER CAPPING
SCALE 1:20



TEE JUNCTION CAPPING TYP
SCALE 1:20



CONSTRUCTION JOINT
SCALE 1:20

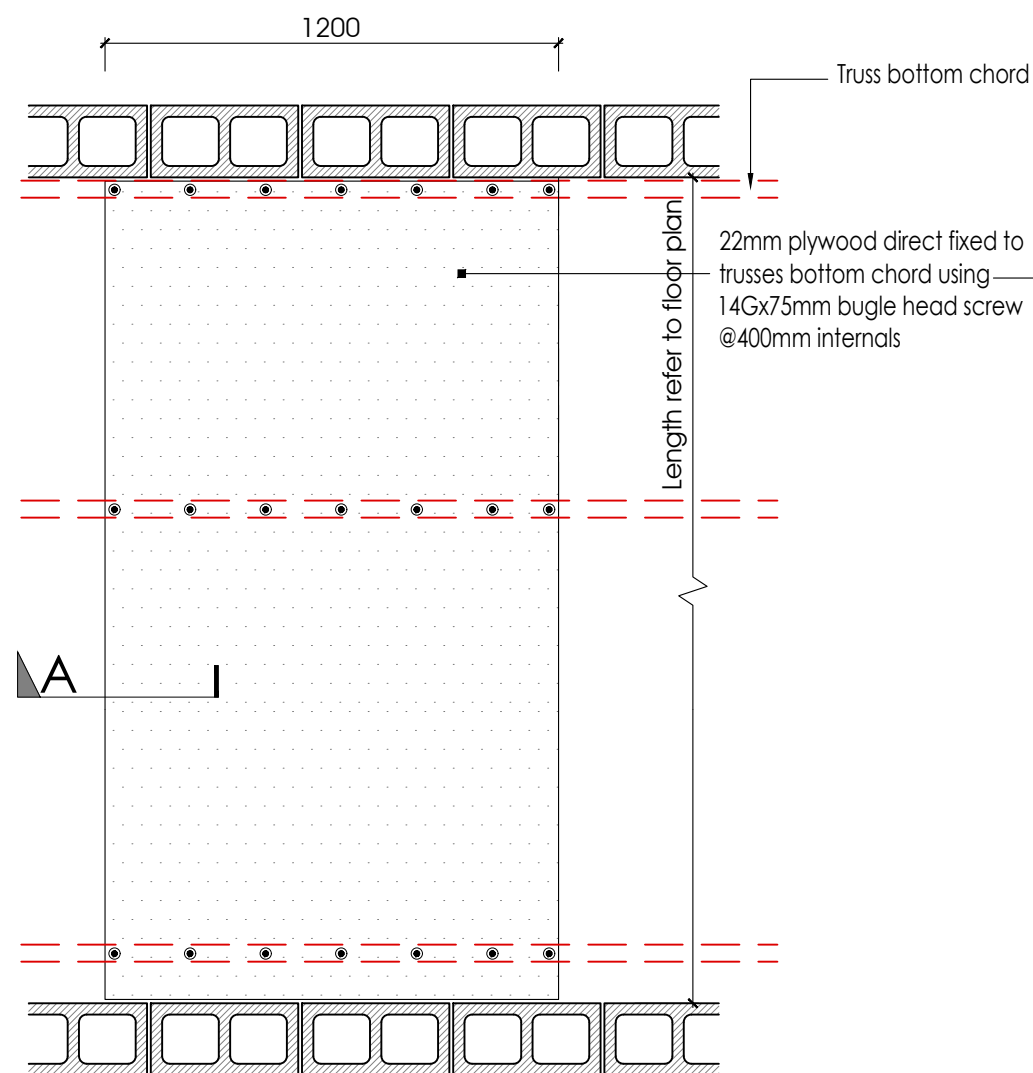


TYPICAL LOGIC WALL SECTION
SCALE 1:20

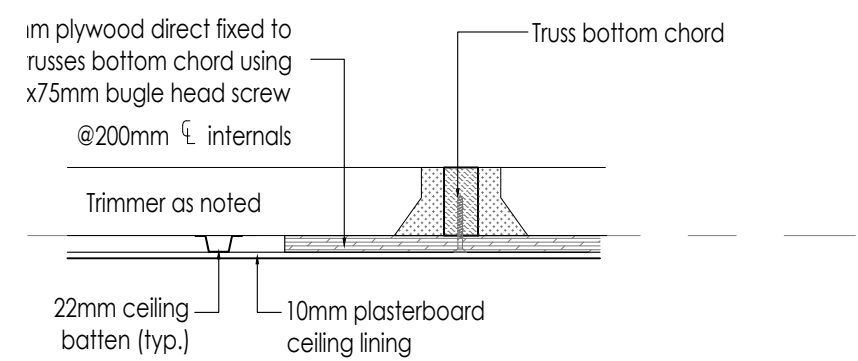
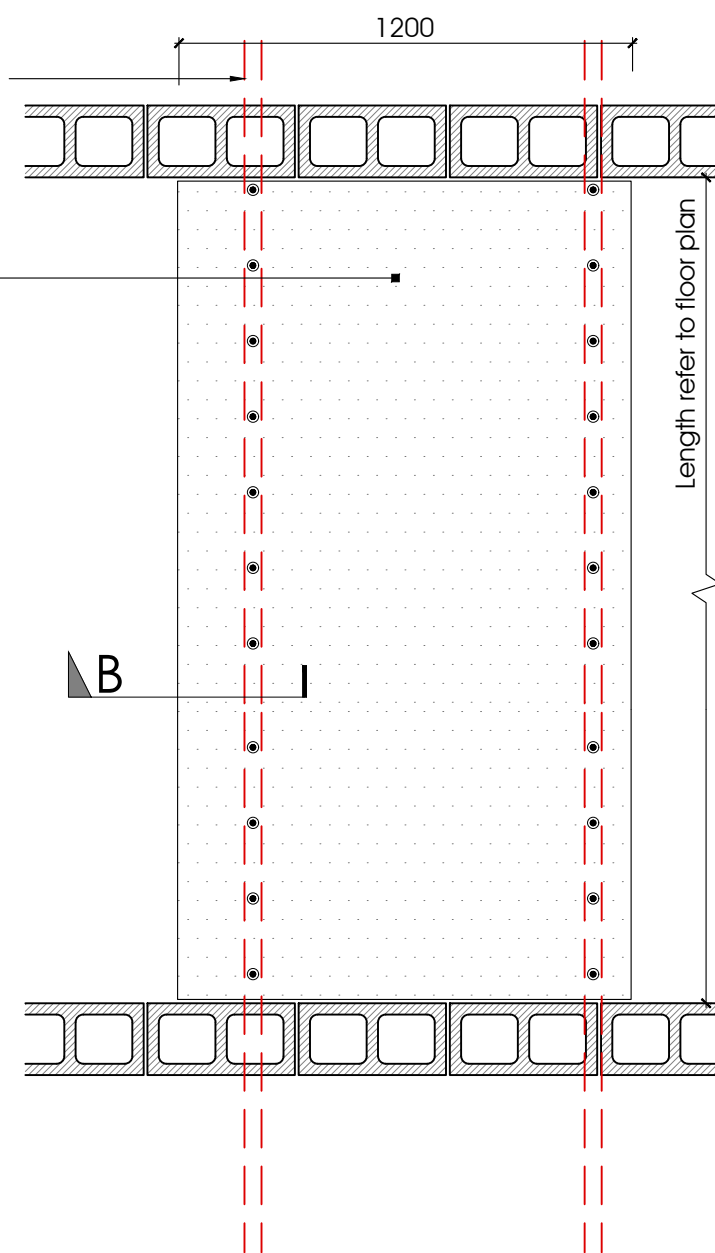
PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99051
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	..	Job NO.	1689-TELE	<div> <div>Builders Who Return Your Call</div> <div>Those who never change their minds never change anything</div> </div>
			Drawing NO. & (Revision)	1689-TELE-S08 (Rev.01)	



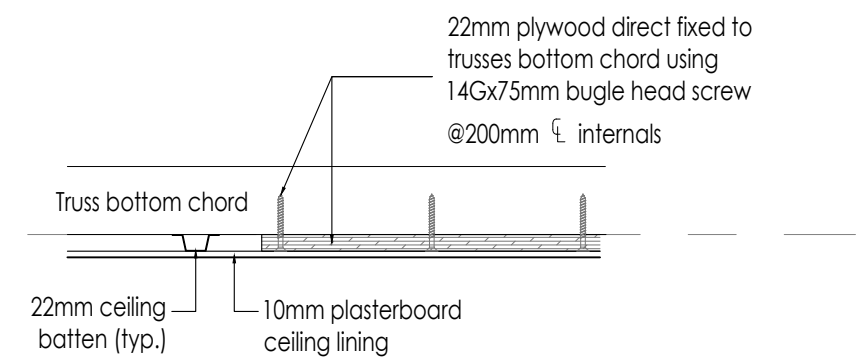
ACROSS TRUSS



PARALLEL WITH TRUSS



SECTION A-A
SCALE 1:10



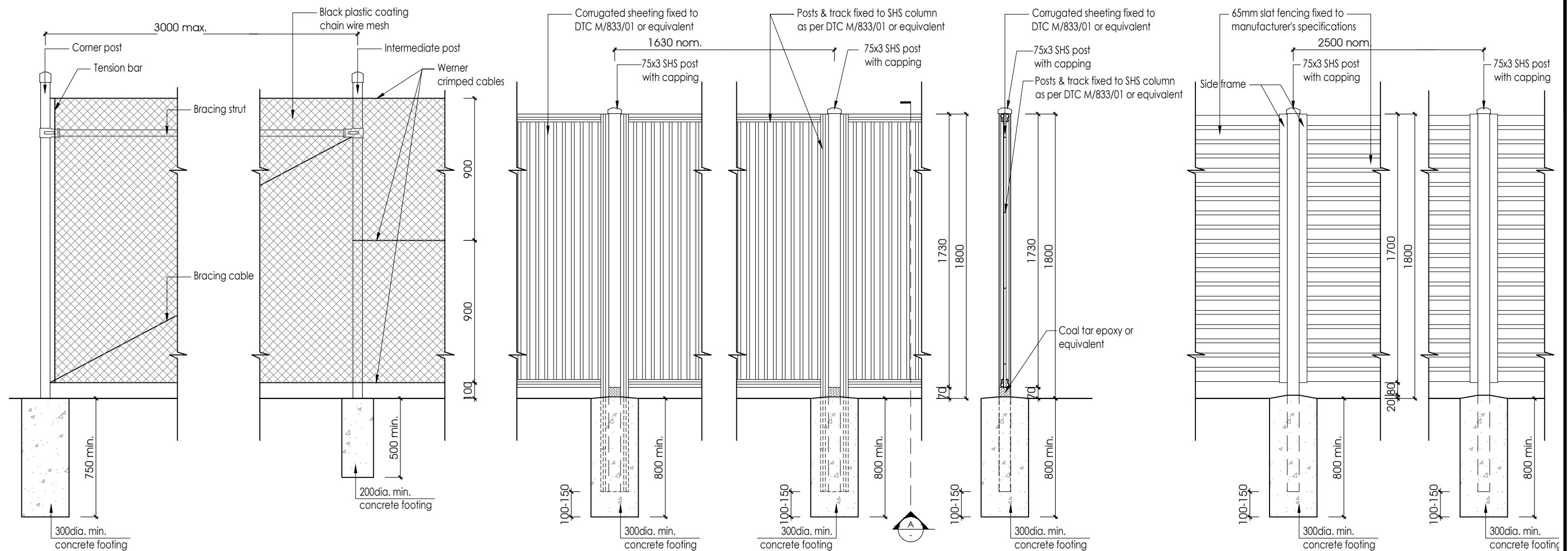
SECTION B-B
SCALE 1:10

CEILING PLYWOOD FIXING FOR HOIST PRO. - TYP

SCALE 1:20

NOTES
Ceiling support to be capable for hoist operating with weight of 250kg max.

PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	<div>Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99051</div> <div>Builders Who Return Your Call Those who never change their minds never change anything</div> <div></div>
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	..	Job NO.	1689-TELE	
		..	Drawing NO. & (Revision)	1689-TELE-S09 (Rev.02)	

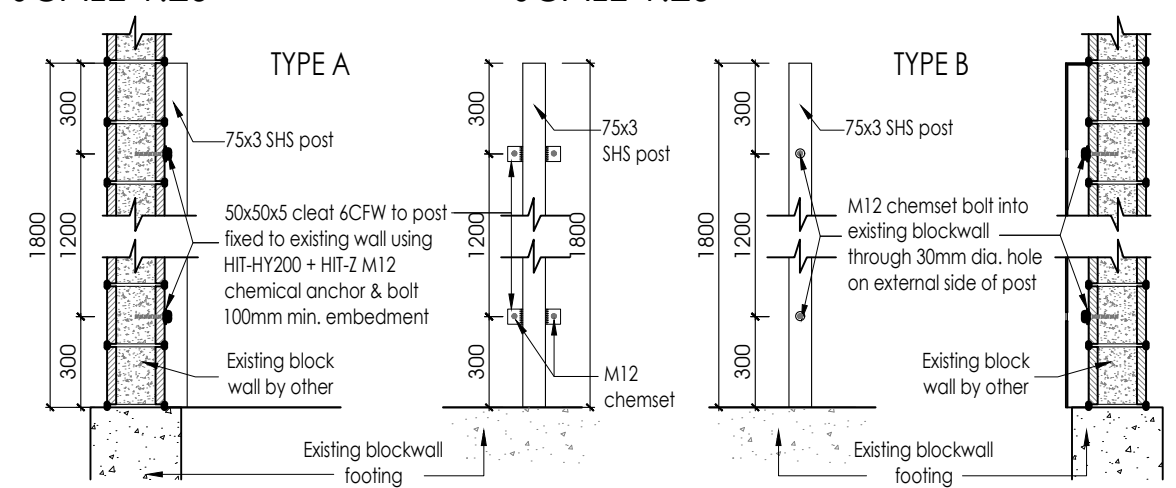
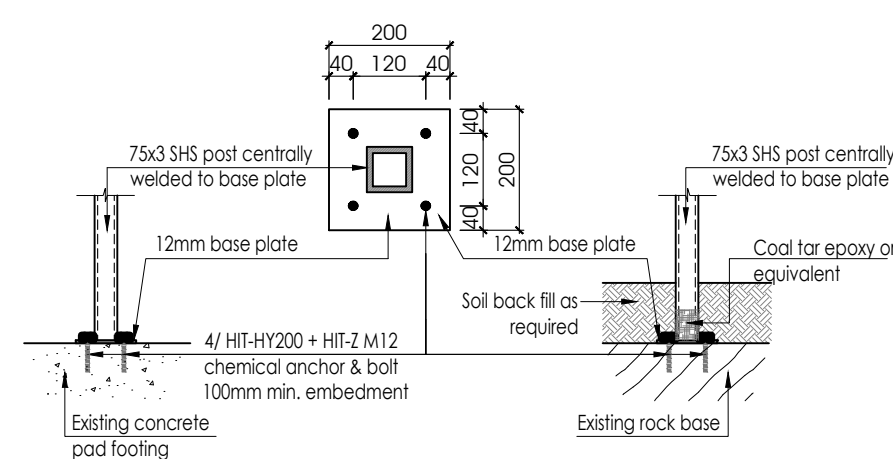
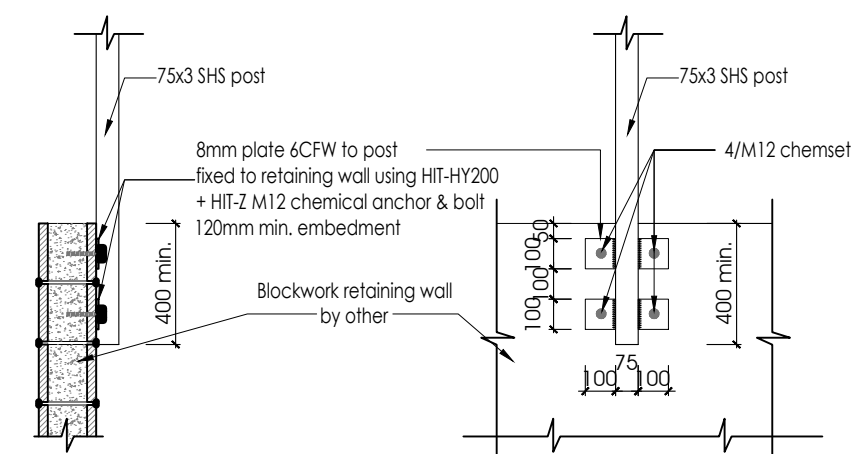


CHAIN MESH FENCING - TYP
SCALE 1:25

COLORBOND FENCING - TYP
SCALE 1:25

SECTION A-A
SCALE 1:25

SLAT FENCING - TYP
SCALE 1:25



FENCE POST TO RETAINING WALL - TYP

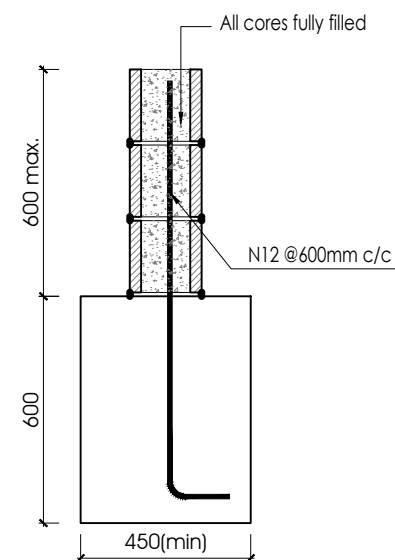
FENCE POST TO EXTERNAL SLAB - TYP

FENCE POST TO BLOCK WALL - TYP

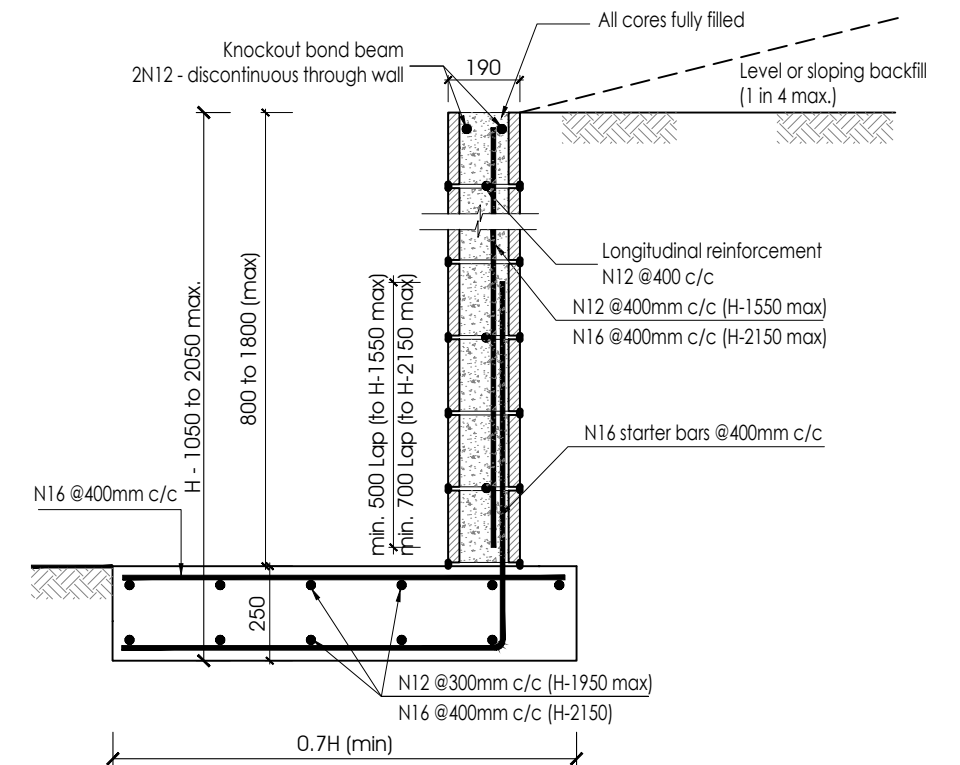
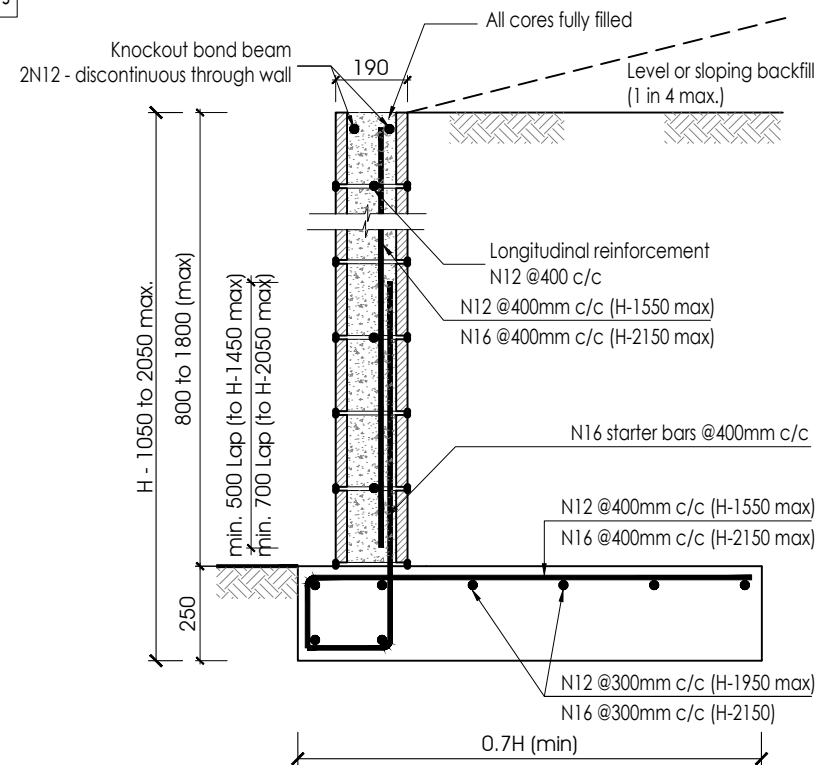
PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99051
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	..	Job NO.	1689-TELE	
		..	Drawing NO. & (Revision)	1689-TELE-S10 (Rev.02)	

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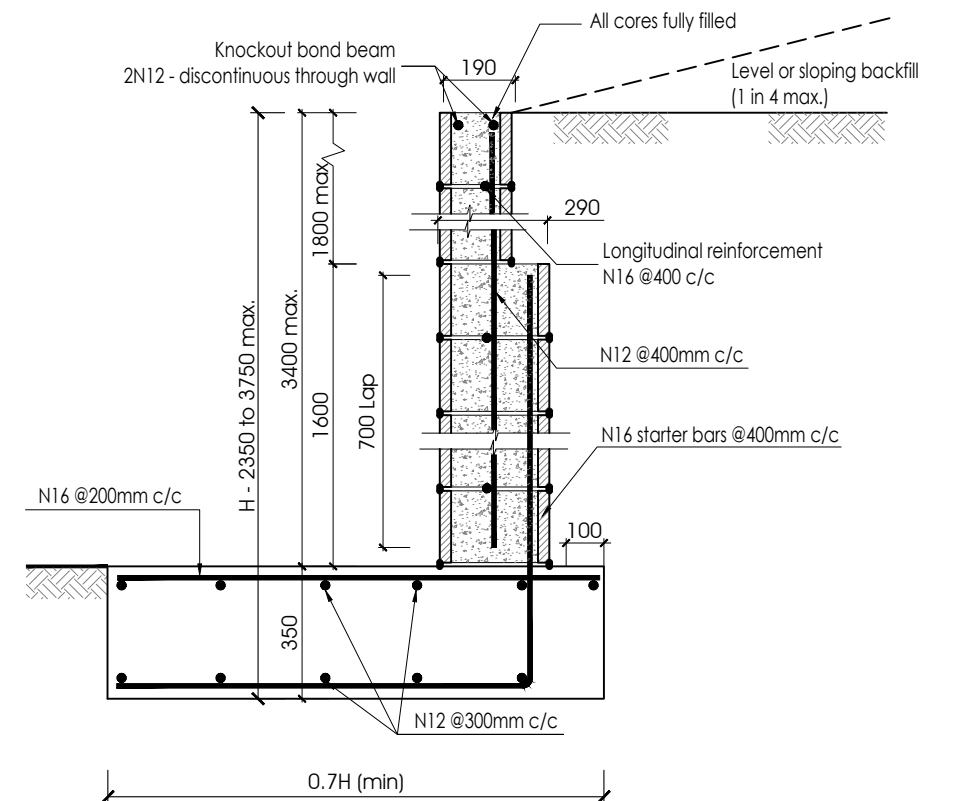
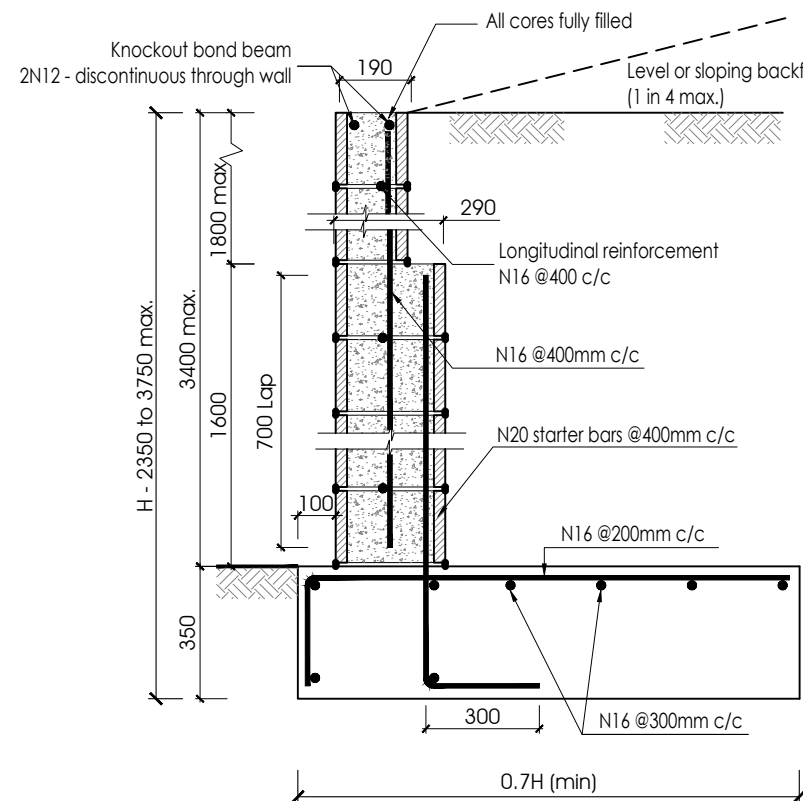
NOTES
WCJ at approx. 6000 cts




RETAINING WALL 600mm MAX



**BLOCK WORK RETAINING WALL
DETAIL - TYPICAL**
SCALE 1:20



PROJECT	LOCATION	CLIENT	Date : 06/06/2024	Scale : As shown @ A3	Habitat (NT) Pty Ltd 5/65 STUART HWY-STUART PARK - NT 0820 PO Box 12, Nightcliff NT 0814 www.habitatnt.com Ph: (08) 8947 3800 Fax: (08) 8947 3800 ABN 97 126 602 300 CAL D-19-14810-02-22 HIA Member 99051
Proposed Ground Level Residence	Lot 1689 (13) Telegraph Terrace Alice Springs NT 0870	..	Job NO.	1689-TELE	
		..	Drawing NO. & (Revision)	1689-TELE-S11 (Rev.02)	

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